

ONONDAGA COUNTY PLANNING BOARD

**MEETING AGENDA
Wednesday October 25, 2017
11:00 A.M.**

**SOCPA CONFERENCE ROOM
11th FLOOR CIVIC CENTER**

- I. Approval of Minutes of the October 04, 2017 meeting**
- II. Review of Section 239 Referrals**

INDEX
ONONDAGA COUNTY PLANNING BOARD

CASE #	ACTION	APPLICANT	MUNICIPALITY	PAGE
S-17-78	SUBDIVISION	Andrea Bucci	Town of Marcellus	4
S-17-79	FINAL SUBDIVISION	Jim Burt	Town of Onondaga	48
S-17-80	FINAL SUBDIVISION	Charles Luchsinger	Town of Onondaga	19
S-17-81	PRELIMINARY SUBDIVISION	Jo F. Brown	Town of Clay	21
S-17-82	PRELIMINARY SUBDIVISION	Michael & Kelley Romano	Town of Spafford	23
S-17-83	PRELIMINARY SUBDIVISION	Kenneth Karlik	Town of Skaneateles	25
S-17-85	FINAL SUBDIVISION	Dean Cummins	Town of Elbridge	27
S-17-86	PRELIMINARY SUBDIVISION	Richard Babcock	Town of Camillus	6
S-17-87	FINAL SUBDIVISION	Paul Fowler	Town of DeWitt	29
S-17-88	FINAL SUBDIVISION	Michael J. Cummins	Town of DeWitt	50
Z-17-391	SITE PLAN	John Argese	Town of Marcellus	8
Z-17-392	USE VARIANCE	Greater Syracuse Development Corporation	City of Syracuse	31

CASE #	ACTION	APPLICANT	MUNICIPALITY	PAGE
Z-17-393	AREA VARIANCE	Lawrence Brown	Town of Pompey	33
Z-17-394	SITE PLAN	Bell Atlantic Mobile Systems of Allentown, Inc. dba Verizon Wireless	Town of Onondaga	52
Z-17-395	SITE PLAN	Tony Barraco	Town of Salina	10
Z-17-396	SPECIAL PERMIT	National Grid	City of Syracuse	35
Z-17-397	PROJECT SITE REVIEW	Edward J. Grabowski c/o St. Joseph's Hospital	City of Syracuse	54
Z-17-398	SITE PLAN	Hovey-Buckley, LLC	Town of Clay	37
Z-17-399	SPECIAL PERMIT	Richard & Shannon Pratten	Town of Skaneateles	12
Z-17-400	AREA VARIANCE	Eric Taylor	Town of Cicero	56
Z-17-401	AREA VARIANCE	Charles P. Money	Town of Cicero	39
Z-17-402	AREA VARIANCE	Amit Sangani	Town of Cicero	14
Z-17-403	AREA VARIANCE	Joseph Mastroianni	Town of Cicero	41
Z-17-404	AREA VARIANCE	Raymond & Deborah Suatoni	Town of Cicero	1
Z-17-405	SITE PLAN	CDS Housing	Town of Cicero	43

CASE #	ACTION	APPLICANT	MUNICIPALITY	PAGE
Z-17-406	SITE PLAN	Addcom Electronics	Town of Cicero	46
Z-17-407	AREA VARIANCE	Chick-fil-A	Town of Cicero	58
Z-17-408	AREA VARIANCE	Mitchell Moss / Sunoco Gas Station	Town of Clay	60
Z-17-410	PROJECT SITE REVIEW	Star Park Housing Development Fund Corporation	City of Syracuse	16
Z-17-411	SITE PLAN	McKesson Corporation	City of Syracuse	62

Z-17-404

AREA VARIANCE

Raymond & Deborah Suatoni

at 7385 Lakeshore Road

Tax Map # 077.-01-54.0

Town of Cicero

Received: 10/12/2017

30-Day Deadline: 11/11/2017

- 1 General Municipal Law Section 239-m allows the County Planning Board to review the granting of use or area variances and the site is located within 500 feet of the municipal boundary between the Town of Cicero and Oswego County; and
- 2 the applicant is requesting an area variance to construct a 20' x 24' building addition on a 0.14-acre parcel in a Residential (R-10) zoning district; and
- 3 the site is located along Lakeshore Road, a local-owned portion of the road, in the Town of Cicero; the site abuts Oneida Lake to the rear and is adjacent to other residential lots; and
- 4 the submitted Location Survey dated July 21, 2017 shows the site contains an existing frame house with attached garage, rear sheds, deck, and brick paver area, a brick paver walk at the front of the house, brick pavers along Lakeshore Road, and a masonry wall along the shoreline; per the Location Survey, the site has existing access to Lakeshore Road via two existing asphalt driveways, one along the western lot line and one along the eastern lot line; and
- 5 the Preliminary Site Plan dated July 21, 2017 shows the proposed addition (20' x 24') will be constructed on the western side of the house, partially extending into the area containing one of the existing driveways; and
- 6 the house is an existing nonconforming structure because it has an 8.7' front yard setback where a minimum of 30' is required and the existing building area coverage is 35% where a maximum of 25% is allowed; the submitted Zoning Board of Appeals Application Form indicates the proposed addition will have a front yard setback of 9', a side yard setback of 4.5', and a combined side yard setback of 12.1', and will increase building area coverage to 43%; and
- 7 per the Town of Cicero zoning ordinance, a minimum side yard setback of 6' (one side) and 15.0' (combined) is required in an Residential (R-10) zoning district, requiring additional area variances for the side yard setbacks; and
- 8 the house is served by public drinking water and sewers and is located in the Brewerton Wastewater Treatment Plant service area; no changes to the existing infrastructure are proposed; and
- 9 the current FEMA Flood Insurance Rate Maps (FIRM) indicate that the 100-year floodplain is just north of the site, along Oneida Lake; the Onondaga County Hazard Mitigation Plan has identified flooding as one of five primary natural hazards of local concern, with the potential to cause extensive threat to property and safety; buildings within the floodplain can negatively affect the free flow of nearby waterways and drainage, and building within a floodplain is therefore discouraged; and
- 10 the New York State Department of Environmental Conservation (NYS DEC) Environmental Assessment Form (EAF) Mapper indicates that the site of the proposed action may contain a species of animal, or associated habitats, listed by the state or federal government as threatened or endangered; and



Z-17-404

S-17-78

SUBDIVISION

Andrea Bucci

at 3875 and 3887 Rockwell Road

Tax Map # 017.-04-09.2, 017.-04-09.3

Town of Marcellus

Received: 9/27/2017

30-Day Deadline: 10/27/2017

1

General Municipal Law Section 239-n allows the County Planning Board to review the approval of subdivisions and the site is located within 500 feet of Rockwell Road (Route 177), a county highway, and a farm operation located in a NYS Agricultural District; and the applicant is proposing to combine two parcels into one new 5.47-acre lot in a Residential (R-1) zoning district; and

2

3

the site is located in a rural area in the Town of Marcellus; the site and surrounding lands are enrolled in New York State Agricultural District 2 and the adjacent lands west of the site contain active farmland; other surrounding land uses are low density roadside residential; and

4

the submitted survey map dated August 8, 2016 shows the site consists of two adjacent tax parcels with frontage on Rockwell Road, a county road; the southern parcel contains an existing two-story frame house with front and rear porches, an existing driveway onto Rockwell Road, and an in-ground pool at the rear of the house, and the northern parcel is vacant and primarily grass cover; the survey map shows a hedgerow and stone wall at the rear of the parcels, separating them from the adjacent agricultural fields to the west; and

5

per the survey map, the proposed subdivision will combine parcel 017.-04-9.3 (3.17 acres) with the adjacent parcel to the north, parcel 017.-04-9.2 (2.30 acres), to create a new lot (5.47 acres); a proposed pole barn (40' x 60') is shown on the survey map and situated 60' from the County right-of-way and 64' from the northern lot line on 017.-04-9.2; and

6

the survey map also shows a proposed driveway on the northern parcel near the northern lot line; the survey map indicates that "Driveways are as approved by Onondaga County Department of Transportation letter dated October 4, 2002" and aerial imagery shows an existing gravel drive onto Rockwell Road at the location of the proposed driveway; per the Onondaga County Department of Transportation, the 2002 approval is no longer valid; and

7

the existing house is served by municipal drinking water and an individual septic system; per the Referral Notice, no changes to the existing infrastructure are proposed; and

8

the New York State Department of Environmental Conservation (NYS DEC) Environmental Assessment Form (EAF) Mapper indicates that the project site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the New York State Historic Preservation Office archaeological site inventory; and



S-17-78

S-17-86

PRELIMINARY
SUBDIVISION

Richard Babcock

at 5936 Newport Road

Town of Camillus

Received: 10/13/2017

Tax Map # 021.-04-01.4, 021.-04-20.0

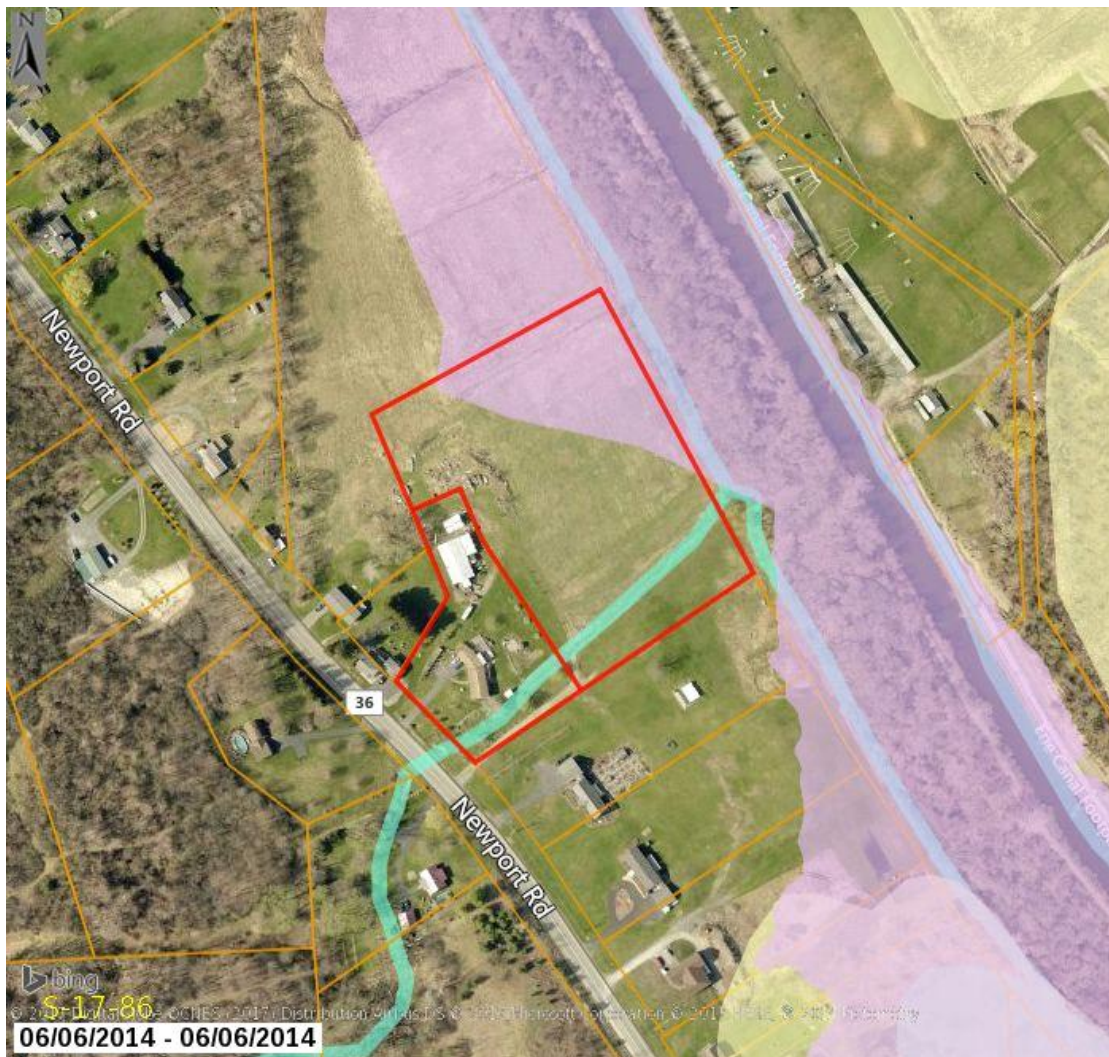
30-Day Deadline: 11/12/2017

- 1 General Municipal Law Section 239-n allows the County Planning Board to review the approval of subdivisions and the site is located within 500 feet of Newport Road, a county highway; and
- 2 the applicant is proposing a lot line adjustment between two parcels, resulting in two reconfigured lots, Lot 2A-1 (4.56 acres) and Lot 2A-2 (3.22 acres), in a Residential (R3) zoning district; and
- 3 in 2008, the Board recommended No Position for a Subdivision referral (S-08-16) proposing to subdivide 5.95 acres (one of the subject parcels) from a 14.68-acre lot and merge it with a 1.8-acre lot (the other subject parcel); the merger ultimately does not appear to have happened; and
- 4 the site is located along Newport Road, a county road, in the Town of Camillus; surrounding land uses are primarily residential lots; the site abuts the Camillus Erie Canal Park; and
- 5 the site consists of two tax parcels; aerial imagery shows lot 021.-04-20.0 (5.98 acres) to be a vacant, landlocked parcel and lot 021.-04-01.4 to contain an existing one-story house, an attached garage, a driveway onto Newport Road that provides direct access to the house and garage, and two barns north of the house; a gravel driveway is shown along the southern lot line of 021.-04-01.4 that extends along the boundary before turning north and leading to the barns; and
- 6 the submitted Preliminary Plan dated September 19, 2017 shows the proposed subdivision to include a lot line adjustment between the two tax parcels; Lot 2A-1 (4.56 acres) is shown to consist of mostly lot 021.-04-20.0 with an additional 40' right-of-way onto Newport Road along the southern line of the site to provide access to the landlocked parcel; Lot 2A-2 (3.22 acres) is shown to include all of lot 021.-04-01.4 with additional lands gained to the north and east from lot 021.-04-20.0; and
- 7 the site is served by public drinking water and sewers and is located in the Metropolitan Wastewater Treatment Plant and Westside Pump Station service areas; the submitted Environmental Assessment Form (EAF) dated September 20, 2017 indicates the proposed action will connect to existing drinking water and sewer infrastructure; and
- 8 the Onondaga County Department of Water Environment Protection has determined that the submitted project is located in an area designated as flow constrained or impacted by excessive wet weather flow or is tributary to a Combined Sewer Overflow (CSO); and
- 9 the site contains a waterbody listed as water-quality impaired (Ninemile Creek lower tributaries) which is shown with a 100' buffer in the Preliminary Plan along the southern lot line of the site and labeled "seasonal stream or drainage ditch"; GIS mapping shows the possible presence of federal wetlands associated with the creek; and
- 10 the current FEMA Flood Insurance Rate Maps (FIRM) indicate that the northern portion of the site is located within the 100-year floodplain, which may require elevation of structures and other mitigation; the Onondaga County Hazard Mitigation Plan has identified flooding as one of five primary natural hazards of local concern, with the potential to cause extensive threat to property and safety; buildings within the floodplain can negatively affect the free flow of nearby waterways and drainage, and building within

a floodplain is therefore discouraged; and

the New York State Department of Environmental Conservation (NYS DEC) EAF Mapper indicates that the site is located over, or immediately adjoining, primary and principal aquifers; and

per the EAF Mapper, the site of the proposed action may contain a species of animal, or associated habitats, listed by the state or federal government as threatened or endangered; and



S-17-86

Z-17-391

SITE PLAN

John Argese

at 3786 and 3796 Bishop Hill Road

Tax Map # 017.-07-01.4, 017.-07-06.1

Town of Marcellus

Received: 9/27/2017

30-Day Deadline: 10/27/2017

1 General Municipal Law Section 239-m allows the County Planning Board to review
approval of site plans and the site is located within 500 feet of Bishop Hill Road (Route
211) and Lee Mulroy Road (Route 175), both county highways, and a farm operation
located in a NYS Agricultural District; and

2 the applicant is proposing to use an existing 46' x 64' storage facility on a 1.17-acre parcel
to store portable toilets and construct a new 50' x 80' storage facility for the same use on
an adjacent 1.82-acre parcel in a Light Industrial zoning district; and

3 the site consists of two tax parcels with frontage on Bishop Hill Road, a county road, in
the Town of Marcellus; the site is just north of the intersection with Lee Mulroy Road, a
county road, and near several roadside commercial establishments; the southern parcel
and surrounding lands are enrolled in New York State Agricultural District 2; there
appears to be active farmland north of the site; and

4 the submitted Site Plan dated September 17, 2017 shows the southern parcel, 017.-07-
06.1 (1.17 acres), contains an existing storage facility (42' x 64'); per aerial imagery,
there is an existing gravel driveway onto Bishop Hill Road that provides access to the
storage facility and a gravel area that extends along the west, north, and east sides of the
building; and

5 the Site Plan shows the proposed project to include the construction of a storage barn (50'
x 80') on the northern parcel, 017.-07-01.4 (1.82 acres); per the Site Plan, there is an
existing stone curb cut at Bishop Hill Road extending to a proposed stone drive (12' min.
width) and a 20,000 sf parking and storage area surrounding the proposed storage barn;
the Site Plan indicates "No site clearing required. All mature growth to remain" for the
proposed barn and northern parcel; and

6 the contour lines on the Site Plan indicate that the site slopes from the northwest corner
down toward the southeast corner, with mostly flat topography in the areas occupied by
the proposed and existing development; and

7 per the submitted Environmental Assessment Form (EAF) dated August 21, 2017, the
existing and proposed structures are intended for storing portable toilets; and

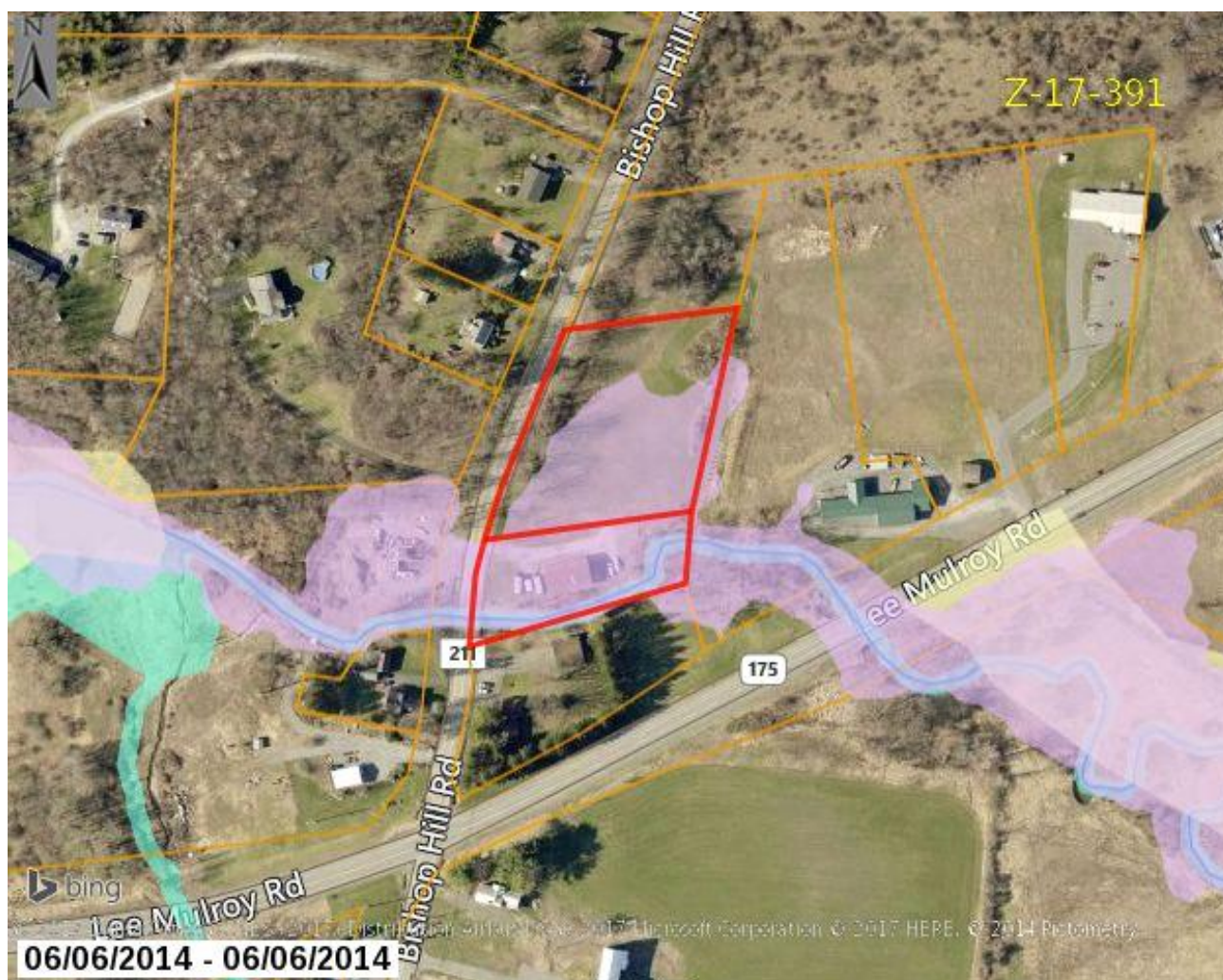
8 the Onondaga County Department of Finance Office of Real Property Services indicates
that the southern parcel is served by public drinking water and individual septic system;
the Site Plan states "No onsite waste disposal system proposed at this time" and "Public
water available. No water supply planned" for the northern parcel; and

9 the Site Plan shows a stream along the southern lot line of the site, which passes through
the southeast corner of the southern parcel; the stream does not extend into the northern
parcel or appear to encroach on the proposed or existing structures; federal wetland
boundaries are also depicted in the Site Plan and occur along the stream; and

10 a 100-year floodplain boundary is shown on the Site Plan that reflects FEMA data from
November 4, 2016; the floodplain boundary indicates that the entirety of the southern
parcel and a substantial portion of the northern parcel, including the proposed
development area, are located within the 100-year floodplain, which may require
elevation of structures and other mitigation; the Onondaga County Hazard Mitigation
Plan has identified flooding as one of five primary natural hazards of local concern, with
the potential to cause extensive threat to property and safety; buildings within the

11

floodplain can negatively affect the free flow of nearby waterways and drainage, and building within a floodplain is therefore discouraged; and
the New York State Department of Environmental Conservation (NYS DEC) EAF Mapper indicates that the project site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the New York State Historic Preservation Office archaeological site inventory; and



Z-17-391

Z-17-395

SITE PLAN

Tony Barraco

at 3712 New Court Avenue

Tax Map # 068.-07-01.1

Town of Salina

Received: 10/5/2017

30-Day Deadline: 11/4/2017

1

General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Court Street (Route 298) and New Court Avenue (Route 598), both state highways, and the municipal boundary between the Town of Salina and the Town of DeWitt; and

2

the applicant is proposing to enclose an overhang on the current structure (Vesuvius Family Eatery) to increase the interior size of the restaurant on a 0.468-acre parcel in a Highway Commercial (C-2) zoning district; and

3

the site is located along NYS Route 598 in the Town of Salina; the site has additional frontage on Gaynor Avenue and Noble Avenue, both local roads, and is just west of the municipal boundary between the Town of Salina and the Town of DeWitt; surrounding land uses include primarily residential lots and some industrial sites along Route 598 and NYS Route 298; and

4

aerial imagery shows that the site abuts two lots to the rear; the lot to the southwest contains a single-family dwelling and is bounded by a stockade fence and the lot to the southeast is vacant and wooded; and

5

the submitted survey map dated August 31, 2017 shows an existing one-story masonry building situated on the eastern half of the lot with a concrete area and overhang enclosed by a rail fence that extends along the northern and eastern sides of the building; asphalt is shown to surround the building and concrete area and provide 25 parking spaces on the site; per the survey map, there are two existing driveways onto Route 598, a concrete sidewalk along Route 598, and an existing driveway onto Noble Avenue; and

6

aerial imagery shows the westerly driveway onto Route 598 is at the intersection with Route 298 where Route 598 transitions from a single lane to a two-lane highway; and

7

the submitted Environmental Assessment Form (EAF) dated September 29, 2017 indicates that the overhang out the existing building (Vesuvius Family Eatery) will be closed in to increase the size of the restaurant; the submitted elevations (undated) indicate that the restaurant addition will consist of the concrete and canopy area on the eastern side of the building; and

8

the site is served by public drinking water and sewers and is located in the Metropolitan Wastewater Treatment Plant and Ley Creek Pump Station service areas; no changes to the existing infrastructure are proposed; and

9

the Onondaga County Department of Water Environment Protection has determined that the submitted project is located in an area designated as flow constrained or impacted by excessive wet weather flow or is tributary to a Combined Sewer Overflow (CSO); and

10

per the New York State Department of Environmental Conservation (NYS DEC) EAF Mapper, the project is within 2,000 feet of two sites in the New York State Department of Environmental Conservation (NYS DEC) Environmental Site Remediation database (734029, 734057); and



Z-17-395

Z-17-399

SPECIAL PERMIT

Richard & Shannon Pratten

at 2595 Benson Road

Tax Map # 055.-01-04.0

Town of Skaneateles

Received: 10/12/2017

30-Day Deadline: 11/11/2017

- 1 General Municipal Law Section 239-m allows the County Planning Board to review
issuance of special permits and the site is located within 500 feet of Benson Road (Route
117), a county highway, the municipal boundary between the Town of Skaneateles and
Cayuga County, and a farm operation located in a NYS Agricultural District; and
- 2 the applicant is requesting a special permit to construct and operate an event center on a
3.6-acre parcel in Rural and Farming (RF) and Lakefront Watershed Overlay (LWOD)
zoning districts; and
- 3 the site is located along Benson Road, a county road, in a rural area in the Town of
Skaneateles; the rear of the site abuts the boundary between Onondaga and Cayuga
Counties; the site and adjacent lands are enrolled in New York State Agricultural District
2 and lands to the north and east across Benson Road appear to contain active farmland;
and
- 4 the submitted Location Survey dated April 5, 2016 shows the site contains an existing
two-story frame house with front porch, rear enclosed porch, and rear deck, and a
detached garage and frame shed; per the Location Survey, the site has existing access
onto Benson Road via a brick drive; and
- 5 the submitted drawing (undated) shows the proposed barn (4,320 sf) situated towards the
center of the site with permeable surfaces along the east, south, and west sides of the
building; a proposed driveway onto Benson Road is shown towards the southern lot line
and extending 100' to a parking area (6,300 sf) with space for 48 vehicles; per the
drawing, there is a proposed permeable walkway from the parking area to the barn; the
referral materials indicate the Onondaga County Department of Transportation was
contacted on September 28, 2017 regarding proposed access to the site; and
- 6 a submitted letter to the Planning Board (undated), included in the referral materials,
indicates that the proposed barn will be used as an upscale event center operating
Thursday through Monday from 7am to 11:30pm with a likelihood for decreased
operations January through March; and
- 7 aerial imagery shows existing forest covering the majority of the site outside the existing
residence and yard area, which is shown in the submitted drawing to be roughly half an
acre at the northeastern corner of the site; per the letter, "with most of the natural habitat
remaining the noise and light pollution will be minimal"; and
- 8 the site is located in the Skaneateles Lake watershed; Skaneateles Lake is the primary
public water supply source for the City of Syracuse and is unfiltered, requiring strict
adherence to water quality protections on land in the watershed; impermeable surface
coverage on the site is currently 2.3% and will increase to 7.6% following the proposed
project; and
- 9 the existing residence is served by individual well and septic system; per the referral
notice, a new well and separate septic system are proposed for the event center; the
referral materials indicate the Onondaga County Health Department was contacted on
September 28, 2017 regarding onsite wastewater management; and



Z-17-399

Z-17-402

AREA VARIANCE

Amit Sangani

at 6175 State Route 31 & 8424 Damon Road

Tax Map # 089.-01-68.1, 089.-01-69.2

Town of Cicero

Received: 10/12/2017

30-Day Deadline: 11/11/2017

1 General Municipal Law Section 239-m allows the County Planning Board to review the granting of use or area variances and the site is located within 500 feet of NYS Route 31, a state highway, and Thompson Road, a county road; and

2 the applicant is requesting an area variance to construct three buildings, a drive-thru restaurant, a two-story retail building, and a 24-unit apartment building, on two parcels totaling 2.8 acres in a General Commercial zoning district; and

3 in 2007, the Board recommended Modification of a Site Plan referral (Z-07-253) proposing to construct a 50' x 40' addition to an existing building on the corner subject parcel; and

4 the site is located east of Interstate 81 along Route 31, a state road, in the Town of Cicero; surrounding land uses include residential neighborhoods and roadside commercial; and

5 the submitted map (undated) shows the site consists of two tax parcels, 089.-01-86.1 and 089.-01-69.2, and is bound to the west by Damon Road, a local road, and to the east by Torchwood Lane, a local road; Torchwood Lane becomes Thompson Road, a county road, south of Route 31; per the New York State Department of Transportation, the intersection of Route 31 and Thompson Road/Torchwood Lane is slated for future reconstruction for which additional right-of-way is anticipated; and

6 aerial imagery shows the corner parcel at Torchwood Lane contains an existing one-story commercial building with 3-4 businesses, an existing parking lot along the front and eastern sides of the building, and two existing driveways, one onto Route 31 and one onto Torchwood Lane; aerial imagery shows the westerly parcel is vacant, though formerly housing the Damon's banquet facility at the rear of the parcel; and

7 per the map, the site contains a 20' New York Telephone ROW and easement that runs east-west through tax parcel 089.-01-69.2, then north-south along the shared lot line between the parcels and along the front of 89.-01-86.1; additionally, there is a 20' drainage easement along the western and northern lot lines of 089.-01-86.1 and a 10' Verizon New York, Inc ROW and Easement at the front of 089.-01-69.2; and

8 the submitted Conceptual Plan dated October 2, 2017 shows the proposed development for the site will include demolishing the existing retail building and constructing a 2,500 sf restaurant with one lane drive-thru on the eastern side of the site, a 24-unit two-story residential building (16,232 sf) at the rear of the site, and a 25,160 sf two-story retail building on the western side of the site; the center of the site is shown to contain a parking lot with approximately 100 parking spaces; the Conceptual Plan shows additional parking along the two road frontage sides of the drive-thru restaurant and at the front of the residential building; and

9 proposed access to the site includes two full access driveways, one onto Damon Road and one onto Torchwood Lane, and a right-in, right-out driveway onto Route 31; and

10 per the Town of Cicero zoning ordinance, a front yard setback of 50' is required in the General Commercial (GC) zoning district and area variances are sought for the proposed project for the proposed 20' setback from Torchwood Lane, the 25' setback from Route 31, and the 10' setback from Damon Road; per the submitted Variance Request dated October 2, 2017, the "primary benefit of the variance is the placement of the cars within

the interior of the site”; and

11 the submitted Environmental Assessment Form (EAF) dated October 2, 2017 indicates that 2.64 acres of the site will be disturbed by the proposed project and stormwater will be conveyed from storm inlet structures into an infiltration basin on the site; no additional details regarding on-site stormwater management are provided in the referral and it is not apparent from the submitted plan where a stormwater management facility would be located; and

12 the site is served by public drinking water and sewers and is located in the Brewerton Wastewater Treatment Plant service area; and



Z-17-402

Z-17-410

PROJECT SITE
REVIEW

Star Park Housing Development Fund Corporatio

at 135 State Fair Boulevard

Tax Map # 108.1-01-09.0

City of Syracuse

Received: 10/16/2017

30-Day Deadline: 11/15/2017

- 1 General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Harbor Brook, a county-owned drainage channel, and the Lower Harbor Brook CSO Project on county-owned land; and
- 2 the applicant is proposing to demolish an existing building and parking lot and construct a 50-unit apartment building, 30-car parking lot, sidewalks and stormwater management facilities on a 2.25-acre parcel in a Business Class A (BA) zoning district; and
- 3 in 2015, the Board recommended No Position for a Special Permit referral (Z-15-322) requesting a special permit to operate a restaurant and banquet facility in the existing building on the subject parcel; and
- 4 the site is located along State Fair Boulevard, a city street, in the Westside neighborhood of the City of Syracuse; per aerial photography, the site is located between the Lower Harbor Brook CSO project and an office in a residential-type building, and is across from a small residential neighborhood located behind several commercial properties along West Genesee Street; and
- 5 the City of Syracuse is currently undertaking a comprehensive project to revise and modernize zoning in the City; according to the ReZone Syracuse draft zoning map dated June 2017, the proposed zoning for this lot is Mixed Use Urban Core (MX-4), which would act to “provide for pedestrian-friendly areas of higher-density residential development and a well-integrated mix of nonresidential uses”; and
- 6 the submitted Topographic Survey shows the site to contain an existing building (9,650 sf), formerly Pensabene’s Casa Grande, that is surrounded by a paved parking area with 102 spaces, and an existing garage and shed located south of the building; concrete walks are shown along the front, north, and south sides of the building and extending to the sidewalk along State Fair Boulevard; per the Topographic Survey, the site has two existing driveways, one entrance-only drive north of the building and one exit-only drive south of the building, that ultimately provide access to the side and rear parking around the building; and
- 7 the submitted Application for Project Site Review indicates the proposed project includes demolishing the existing building and parking lot to allow for the construction of a new three-story, wood frame apartment building (18,350 sf); the proposed apartment building will provide 50-units consisting of one and two-bedroom apartments, a community room, and four offices for support staff; per the Application, funding from OMH will support a percentage of the intended population; and
- 8 the submitted Site Layout Plan dated October 5, 2017 shows the proposed building situated on the southern half of the parcel, a full access driveway onto State Fair Boulevard (north of the existing driveway location), a 30-stall parking lot north of the building ending in a circular drive, sidewalks extending to the front of the site and the existing concrete walk along State Fair Boulevard, a concrete area connecting the circular drive to the building entryway, and a rear dumpster enclosure off the circular drive; and
- 9 the submitted Planting Plan dated October 5, 2017 shows a tree buffer along the southern lot line, which abuts vacant, residential, and commercial properties; and

- 10 the submitted Environmental Assessment Form (EAF) dated October 5, 2017 states 2.25 acres of the site will be disturbed by the proposed project, and stormwater will be conveyed to drywells and piped to an on-site stormwater management area which ultimately discharges to Harbor Brook; and
- 11 the site is served by public water and is located in the Metropolitan Wastewater Treatment Plant service area, in an area tributary to active combined sewer overflows; the Onondaga County Department of Water Environment Protection has determined that the submitted project is located in an area designated as flow constrained or impacted by excessive wet weather flow or is tributary to a Combined Sewer Overflow (CSO); and
- 12 per aerial photography, Harbor Brook runs exposed along the north side of the site where it then crosses State Fair Boulevard; the current FEMA Flood Insurance Rate Maps (FIRM) indicate that the majority of the site is located within the 100-year floodplain and approximately the northern half of the site, including portions of the existing building, are located in the floodway, which may require elevation of structures and other mitigation; the Onondaga County Hazard Mitigation Plan has identified flooding as one of five primary natural hazards of local concern, with the potential to cause extensive threat to property and safety; buildings within the floodplain can negatively affect the free flow of nearby waterways and drainage, and building within a floodplain is therefore discouraged; and
- 13 per the New York State Department of Environmental Conservation (NYS DEC) EAF Mapper, the project is within 2,000 feet of two sites in the New York State Department of Environmental Conservation (NYS DEC) Environmental Site Remediation database (C734083, 734039); the site is located over, or immediately adjoining, primary and principal aquifers; the project site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the New York State Historic Preservation Office archaeological site inventory; and



Z-17-410

General Municipal Law Section 239-n allows the County Planning Board to review the approval of subdivisions and the site is located within 500 feet of Abbey Road (Route 212), a county road, and a farm operation located in a NYS Agricultural District; and the applicant is proposing to subdivide a 66.64-acre parcel into three lots, Lot 1 (63.28 acres), Lot 2 (2.02 acres), and Lot 3 (1.34 acres), in a Residential and Country (R-C) zoning district; and the site is located in a rural area in the Town of Onondaga, southwest of Onondaga Community College and Onondaga Hill hamlet; the site and lands to the west are enrolled in New York State Agricultural District 1 and contain active farmland; and the submitted Preliminary Plan dated September 15, 2017 shows parcel 027.-04-45.1 (66.64 acres) has frontage on Abbey Road, a county road, and is situated behind two residential lots, 027.-04-45.2 and 027.-04-46.0; two adjacent lots at the rear of the site have the same reputed owner (Charles A. Luchsinger) as the parcel; and aerial imagery shows that the site contains an existing barn along Abbey Road and agricultural fields that appear to be part of a larger farm operation on the adjacent rear parcels; there is existing access to the site via a farm road from the rear adjacent parcel that ultimately connects to Bussey Road, a county road to the west, and a gravel drive on Abbey Road in front of the existing barn; and the Preliminary Plan shows the proposed subdivision will create Lot 1 (63.28 acres), Lot 2 (2.02 acres), and Lot 3 (1.34 acres); and proposed Lot 3 consists of the residential lot at the northeastern corner of the site, which was previously subdivided from the site and is labeled as parcel 027.-04-45.2; per the Preliminary Plan, "Lot 3 was conveyed out of the Luchsinger chain of title on Sept. 18, 1984 to a predecessor of the current owner. It was conveyed by the metes and bounds description as shown on this plan and is being shown to clear up the chain of title"; and the Preliminary Plan states "The creation of Lot 2 is for conveyance purposes only. Lot 2 is to be combined with the contiguous property currently owned by the Cherchio Living Trust, also labeled as tax map no. 027-04-46. A recombined deed with metes and bounds description will be filed in the Onondaga County Clerk's office within 30 days of the approval and filing of this subdivision map. The approval of this subdivision is conditioned upon said revised deed being duly filed in the Onondaga County Clerk's office"; and the Onondaga County Department of Finance Office of Real Property Services indicates that the existing barn on the site is served by public drinking water and does not have wastewater services, and the existing houses on 027.-04-45.2 and 027.-04-46.0 are each served by public drinking water and individual septic systems; no changes to the existing infrastructure are proposed; and the Preliminary Plan states "Lot 1 is not an approved building lot until such time as a waste water disposal system, approved by the Onondaga County Health Department, and an approved Onondaga County driveway permit are accepted and filed with the Town of Onondaga Codes Office"; and GIS mapping shows a stream at the rear of the site along the western lot line and a pond area along the southern lot line with the possible presence of federal wetlands associated

12

with both areas; the pond appears to be just west of proposed Lot 2; and the New York State Department of Environmental Conservation (NYS DEC) Environmental Assessment Form (EAF) Mapper indicates that the project site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the New York State Historic Preservation Office archaeological site inventory; and



S-17-80

S-17-81

PRELIMINARY
SUBDIVISION

Jo F. Brown

at Burnet Road and NYS Route 31

Tax Map # 051.-01-10.1

Town of Clay

Received: 10/2/2017

30-Day Deadline: 11/1/2017

- 1 General Municipal Law Section 239-n allows the County Planning Board to review the approval of subdivisions and the site is located within 500 feet of NYS Route 31, a state highway; and
- 2 the applicant is proposing to subdivide an 18.79-acre parcel into three new lots, Lot 1A (7.79 acres), Lot 1B (5.0 acres) and Lot 1C (6.0 acres), in a Residential (RA-100) zoning district; and
- 3 in 2012, the Board recommended No Position With Comment of a Preliminary & Final Subdivision (S-12-92) referral proposing to subdivide a 5-acre building lot from a 24-acre parcel, with the remaining lands ultimately becoming the subject parcel; the Board encouraged the Town to consider planning for any contemplated future development of the remaining lands (the subject parcel), including locating any streams, wetlands, and floodplains on site and identifying feasible locations for access and wastewater, drinking water, and stormwater management facilities; and
- 4 the site is a vacant, forested lot located at the intersection of NYS Route 31 and Burnet Road, a local road, in the Town of Clay; surrounding land uses are mixed, consisting of single family residential lots, including one at the southeastern corner of the site at the intersection of NYS Route 31 and Burnet Road, several commercial properties, a church, a Town park, and agricultural fields; the site is also less than a mile from the parcels intended for White Pines Commerce Park, which will be an intensive commercial/industrial development; and
- 5 the submitted survey map dated August 25, 2017 shows the adjacent parcel to the west is owned by the Clay Volunteer Fire Department, and there is an Onondaga County Water District easement along the northern lot line that is partially located on the site; utility box and water valves are also shown at the northeastern corner of the site; aerial imagery shows a gravel driveway accessing the utility box area; and
- 6 per the survey map, the proposed subdivision will create Lot 1A (7.794 acres) with frontage on Route 31 and Burnet Road and consisting of the southernmost lands, Lot 1B (5.0 acres) with frontage on Burnet Road, and Lot 1C (6.0 acres) with frontage on Burnet Road and consisting of the northernmost lands; and
- 7 the submitted Environmental Assessment Form (EAF) dated September 13, 2017 indicates Lots 1B and 1C are intended for future residential single family use, however, no proposed plans for development or access are indicated in the referral materials; and
- 8 the site has access to public drinking water and an existing water line along Burnet Road is shown in the survey map; per the survey map, "Lots 1A, 1B and 1C are not considered residential building lots prior to the approval of individual subsurface sewerage disposal system plans by the Onondaga County Health Department"; and
- 9 per the New York State Department of Environmental Conservation (NYS DEC) EAF Mapper, the site of the proposed action may contain a species of animal, or associated habitats, listed by the state or federal government as threatened or endangered; and



S-17-81

S-17-82

PRELIMINARY
SUBDIVISION

Michael & Kelley Romano

at 1451 West Valley Road

Tax Map # 022.-01-04.1

Town of Spafford

Received: 10/11/2017

30-Day Deadline: 11/10/2017

- 1 General Municipal Law Section 239-n allows the County Planning Board to review the
approval of subdivisions and the site is located within 500 feet of West Valley Road
(Route 113), a county highway; and
- 2 the applicant is proposing to subdivide a 1.85-acre parcel into two new lots, Lot 1 (1.0
acres) and Lot 2 (0.85 acres), in an Otisco Lake (OL) zoning district; and
- 3 the site is located in a rural area in the Town of Spafford and is adjacent to residential
lots and forested lands; the site and adjacent lands are enrolled in New York State
Agricultural District 2; and
- 4 the submitted Final Plan dated September 1, 2017 shows the site is bisected by West
Valley Road, a county road; the northern portion of the parcel has frontage on Otisco
Lake and the southern portion of the parcel contains an existing two-story frame house
with an existing driveway onto West Valley Road; aerial imagery shows the remainder of
the parcel is primarily forested; and
- 5 the Final Plan shows the proposed subdivision will divide the lot (1.85 acres) into two
parcels with the proposed lot line being roughly perpendicular to West Valley Road; Lot
1 (1.0 acres) will consist of the eastern lands and Lot 2 (0.85 acres) will consist of the
western lands and the existing house and driveway; each lot will contain lands on both
sides of West Valley Road, including more than 100' each of frontage on Otisco Lake;
and
- 6 no development plans for either proposed lot are indicated in the referral materials; and
- 7 the existing house is served by individual well and septic system; no changes to the
existing utilities are proposed; and
- 8 the current FEMA Flood Insurance Rate Maps (FIRM) indicate that portion of the site
along Otisco Lake is located within the 100-year floodplain, which may require elevation
of structures and other mitigation; the Onondaga County Hazard Mitigation Plan has
identified flooding as one of five primary natural hazards of local concern, with the
potential to cause extensive threat to property and safety; buildings within the floodplain
can negatively affect the free flow of nearby waterways and drainage, and building within
a floodplain is therefore discouraged; and
- 9 GIS mapping shows the presence of federal wetlands along the shoreline of Otisco Lake;
the floodplain and wetland areas do not appear to significantly encumber the site or
encroach on the existing house; and



S-17-82

S-17-83

PRELIMINARY
SUBDIVISION

Kenneth Karlik

at 1837 West Lake Road

Tax Map # 061.-01-16.1

Town of Skaneateles

Received: 10/12/2017

30-Day Deadline: 11/11/2017

1 General Municipal Law Section 239-n allows the County Planning Board to review the
approval of subdivisions and the site is located within 500 feet of West Lake Road (Route
2 41A), a state highway, and a farm operation located in a NYS Agricultural District; and
the applicant is proposing to subdivide a 100.699-acre parcel into three new lots, Lot 1
(96.6 acres), Lot 3 (2.0 acres) and Lot 4 (2.0 acres), in Rural and Farming (RF) and
Lakefront Watershed Overlay (LWOD) zoning districts; and

3 in 2015, the Board recommended No Position With Comment of a Preliminary
Subdivision referral (S-15-68) proposing to subdivide a parcel into two lots, creating a
2.00-acre building lot and preserving the remaining lands (the subject parcel) for the
existing farm operation on the site; and

4 the site is located at the intersection of West Lake Road, a state road, and Heifer Street, a
local road, in a rural area in the Town of Skaneateles; the site is west of Skaneateles Lake
and situated behind three residential lots, one with frontage on West Lake Road and two
with frontage on Heifer Street; the site and adjacent lands are enrolled in New York State
Agricultural District 2 and contain active farmland; and

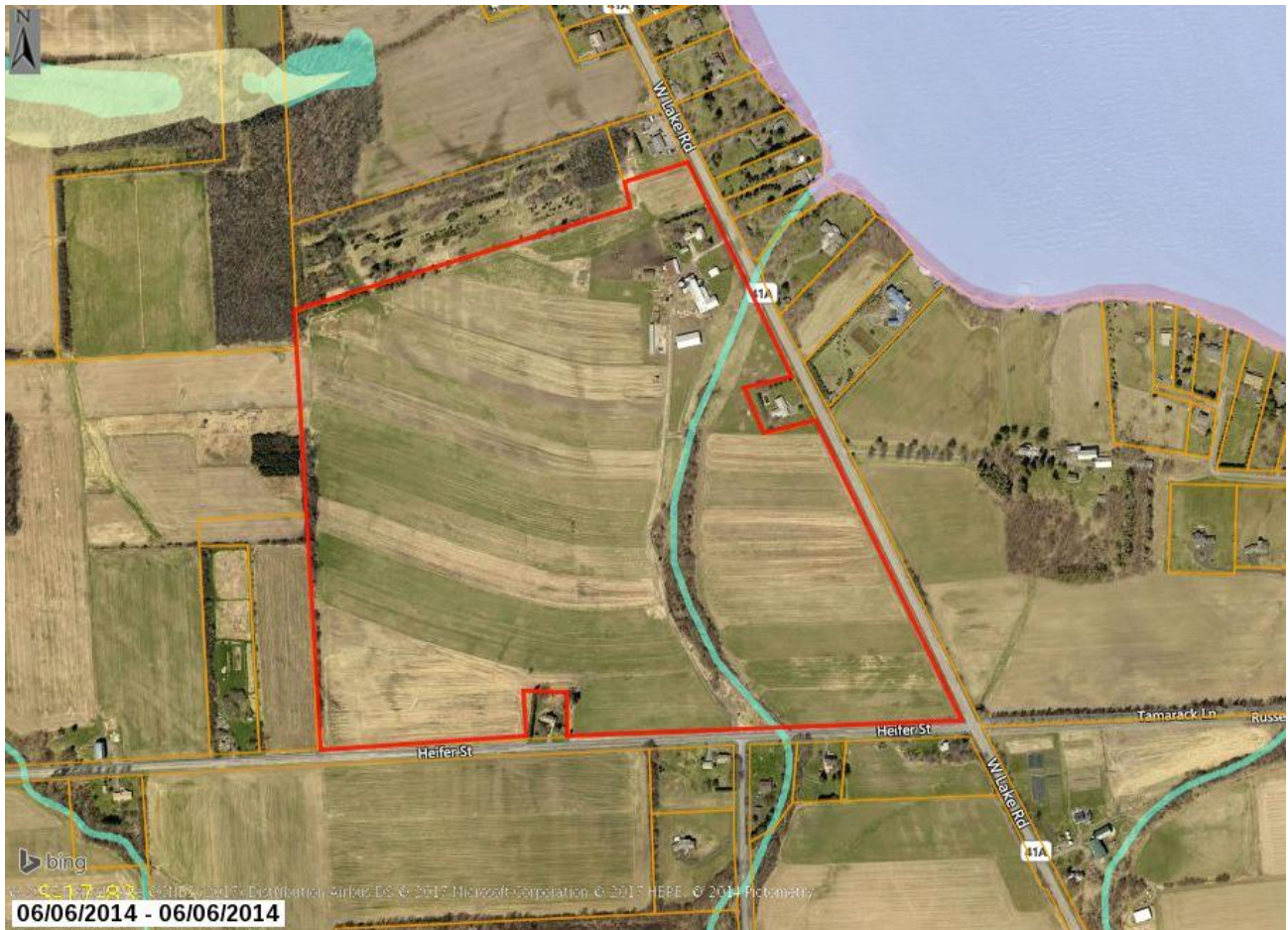
5 the subdivision map dated October 3, 2017 shows the site to contain an existing house,
seven barns, and two sheds along the West Lake Road frontage, and two existing
driveways, one onto West Lake Road and one extending south to Heifer Road; a Town of
Skaneateles environmental easement is shown at the southeastern corner of the site; and

6 per the subdivision map, the proposed subdivision will create two 2-acre building lots
with proposed Lots 3 and 4 shown along the Heifer Road frontage adjacent to two other
residential lots; the remainder of the site, including the existing structures and agricultural
fields, will be Lot 1 (96.695 acres); and

7 the existing house is served by individual well and septic system; new individual wells
and septic systems are proposed for Lots 3 and 4; a letter dated October 6, 2017, included
in the referral materials, indicates that deep hole soil investigations and percolation tests
were performed by a professional engineer and witnessed by the City of Syracuse for the
proposed building lots; per the letter, "the type of system that can be designed for these
lots would be a raised system due to the poor soils at a depth of 24"; and

8 a creek is shown in the subdivision map, running north-south through the portion of the
site that will be Lot 1; GIS mapping shows the possible presence of federal wetlands
along the creek; per the New York State Department of Environmental Conservation, the
creek is a class AA stream; proposed Lots 3 and 4 are not encumbered by the creek or
wetland area; and

9 per the New York State Department of Environmental Conservation (NYS DEC)
Environmental Assessment Form (EAF) Mapper, the project site or a portion of it is
located in or adjacent to an area designated as sensitive for archaeological sites on the
New York State Historic Preservation Office archaeological site inventory; and



S-17-83

S-17-85

FINAL SUBDIVISION

Dean Cummins

at 5815 Jordan Road

Tax Map # 032.-05-04.0

Town of Elbridge

Received: 10/13/2017

30-Day Deadline: 11/12/2017

1

General Municipal Law Section 239-n allows the County Planning Board to review the approval of subdivisions and the site is located within 500 feet of Jordan Road (Route 317), a state highway; and

2

the applicant is proposing to subdivide a 2.06-acre parcel into two new lots, Lot A (1.03 acres) and Lot B (1.03 acres), in a Residential (R-1) zoning district; and

3

the site is located along Jordan Road, a state road, in a rural area in the Town of Elbridge; surrounding land uses include agricultural fields, forested lands, and low density residential; and

4

the submitted survey map dated June 15, 2017 shows the site to contain an existing house, pool, and driveway onto Jordan Road; aerial imagery shows a treed area that separates the house and pool from an agricultural field on the southern half of the site; and per the survey map, the proposed subdivision will divide the parcel into two lots; Lot A (1.03 acres) is shown to contain the existing structures and Lot B (1.03 acres) will consist of the remainder of the site and primarily the agricultural field; and

5

6

a proposed driveway onto Jordan Road is shown on the survey map to provide access to proposed Lot B; and

7

the existing house is served by public drinking water and individual septic system; the referral notice indicates a new drinking water connection and septic system are proposed for Lot B; and

8

per the New York State Department of Environmental Conservation (NYS DEC) Environmental Assessment Form (EAF) Mapper, the project site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the New York State Historic Preservation Office archaeological site inventory; and



S-17-85

S-17-87

FINAL SUBDIVISION

Paul Fowler

Winterton Estates

at Winterton Estates, Section H

Tax Map # 076.1-01-01.2, 076.1-01-03.

Town of DeWitt

Received: 10/16/2017

30-Day Deadline: 11/15/2017

1 General Municipal Law Section 239-n allows the County Planning Board to review the approval of subdivisions and the site is located within 500 feet of Interstate Route 481, a state highway; and

2 the applicant is amending a final subdivision to create 25 building lots on a 32.68-acre site in a Residential (R-1) zoning district; and

3 in 2004, the Board recommended Modification of a Preliminary Subdivision (S-04-107) to add two home sites to a previously approved 23 home sites employing Town Law 278 (approval of cluster development) to build 25 single family homes in a building envelope on the subject site; and

4 the site is located in a residential area in the Town of DeWitt and adjacent to Interstate 481 (I-481); and

5 the submitted 2nd Amended Final Plan dated September 22, 2017 shows the proposed subdivision will consist of 25 building lots ranging in size from 10,627 sf to 20,035 sf; an area labeled "Parcel acquired from Niagara Mohawk Power Corporation" is shown along I-481 as a single parcel, and the remainder of the site is vacant and shown as another single parcel; and

6 per a phone conversation with the Town of DeWitt, the subdivision for this project was approved in 2005 during which time the plan showed tentative building outlines within a building envelope; the final subdivision under review for this referral amends past iterations of the subdivision and includes all proposed building lot lines and final building outlines; with the exception of the lands conveyed to one of the building lots, the original building envelope and the 25 proposed building lots cover roughly the area; and

7 the 25 lots are shown to be contained within a boundary used in prior subdivision phases; aerial imagery shows that the proposed houses are in various stages of development, with 21 already completed, 1 foundation poured, and 2 foundations measured, and the remainder of the site is undeveloped land; and

8 the 2nd Amended Final Plan shows a "Y" shaped local road network providing access to all lots and ending at two cul-de-sacs; proposed access to either Flametree Drive or Winslow Drive is shown for 16 of the houses and the driveways vary in material, including gravel, tarvia, and pavers; and

9 the submitted Environmental Assessment Form (EAF) dated September 22, 2017 indicates that 16.0 acres of the site will be disturbed by the proposed project; per the EAF, stormwater will be directed to an established conveyance system; the area labeled "Parcel acquired from Niagara Mohawk Power Corporation" along I-481 is shown to contain a "Proposed Detention Basin Area" with a drainage easement extending to it; topographic data shows significant grade changes from the west side of the 25 lots sloping down toward the detention basin and then sloping back up towards I-481; and

10 the site is served by public drinking water and sewers and the site is located in the Meadowbrook-Limestone Wastewater Treatment Plant service area; storm sewer, sanitary sewer, and water lines are shown on the 2nd Amended Final Plan and are presumably existing; and

11 the Onondaga County Department of Water Environment Protection has determined that the submitted project is located in an area designated as flow constrained or impacted by

excessive wet weather flow or is tributary to a Combined Sewer Overflow (CSO); and per the New York State Department of Environmental Conservation (NYS DEC) EAF Mapper, the site of the proposed action may contain a species of animal, or associated habitats, listed by the state or federal government as threatened or endangered; and



S-17-87

Z-17-392

USE VARIANCE

Greater Syracuse Development Corporation
at 310 Apple Street

Tax Map # 109.-02-18.0

City of Syracuse

Received: 9/29/2017

30-Day Deadline: 10/29/2017

1 General Municipal Law Section 239-m allows the County Planning Board to review the
granting of use or area variances and the site is located within 500 feet of a channelized
portion of Harbor Brook, a county-owned drainage channel; and
2 the applicant is requesting a use variance to allow for a multi-family use in two existing
structures on a 0.1-acre parcel in a Residential, Class A (RA) zoning district; and
3 the site is located along Apple Street, a city street, in the Westside neighborhood of the
City of Syracuse; surrounding land uses primarily include other single-family, two-
family, and multi-family residential lots; and
4 the City of Syracuse is currently undertaking a comprehensive project to revise and
modernize zoning in the City; according to the ReZone Syracuse draft zoning map dated
June 2017, the proposed zoning for this lot is Residential (R-2), which would act to
“provide for neighborhoods made up of single-family detached and two-family homes”
where “complimentary uses such as parks, open space, schools, places of assembly,
minor utilities, and accessory structures may also be allowed”; and
5 per the City of Syracuse zoning ordinance, multi-family dwellings are not a permitted use
in the existing Residential, Class A (RA) zoning district; the ReZone Syracuse Module 1
Draft dated November 2016 indicates that multi-family dwellings are also prohibited in
the proposed Residential (R-2) zoning district for this lot; a use variance is requested to
allow for the proposed use; and
6 the submitted Site Plan (undated) shows an existing house at the front of the site and an
existing house at the rear of the site with a concrete court yard separating the two
structures; a concrete walk is shown along the western lot line; the site does not have
existing driveway access or off-street parking, however, on-street parking is available
along Apple Street; and
7 the submitted Environmental Assessment Form (EAF) dated September 21, 2017 states
that the use variance is intended to allow for three apartments in the front building and
two apartments in the rear building on the site; the submitted Proposed Floor Plans
(undated) shows 2 two-bedroom apartments in the rear building, and 2 one-bedroom
apartments and 1 five-bedroom apartment in the front building; and
8 a letter to the Syracuse Zoning Administration dated September 20, 2017 explains that
the apartment configuration within the structures is existing and operated lawfully until a
zone change in 1974; per the letter, the “property was vacant from January 2006 until
May of 2009 which caused it to lose its non-conforming use status” and “became vacant
again in June 2015” at which time it was seized by the City of Syracuse and turned over
to the Greater Syracuse Land Bank in January 2017; and
9 the submitted Standards of Proof for Use Variance document indicates that the Land
Bank received a development proposal for the property from DeRoma LLC; DeRoma and
the Land Bank evaluated three scenarios for the property, including 1) renovate the
existing structures as currently configured, 2) demolish the rear structure and reconfigure
the front structure as a two-unit building, and 3) demolish both structures, and determined
the first scenario provides a reasonable return on investment where the others do not; the
three scenarios are detailed in the Standards of Proof for Use Variance document;
currently, the purchase of the property by DeRoma is contingent upon the approval of the

use variance; and

the site is served by municipal drinking water and public sewers and is located in the Metropolitan Wastewater Treatment Plant service area; and

the Onondaga County Department of Water Environment Protection has determined that the submitted project is located in an area designated as flow constrained or impacted by excessive wet weather flow or is tributary to a Combined Sewer Overflow (CSO); and

the New York State Department of Environmental Conservation (NYS DEC) EAF Mapper indicates that the project site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the New York State Historic Preservation Office archaeological site inventory; and



Z-17-392

Z-17-393

AREA VARIANCE

Lawrence Brown

at 3993 Oran Delphi Road

Tax Map # 007.-02-05.0

Town of Pompey

Received: 10/2/2017

30-Day Deadline: 11/1/2017

1

General Municipal Law Section 239-m allows the County Planning Board to review the granting of use or area variances and the site is located within 500 feet of Oran Delphi Road (Route 5), a county highway, and a farm operation located in a NYS Agricultural District; and

2

the applicant is requesting an area variance to increase the maximum allowable height from 15 feet to 20 feet and reduce the front yard setback from 50 feet to 33 feet to allow for the construction a 20' x 22' garage on a 0.93-acre parcel in a Farm (F) zoning district; and

3

the site is located along Oran Delphi Road, a county road, in a rural area in the Town of Pompey; surrounding land uses include vacant, forested lands and low density residential lots; lands to the north and west of the site are enrolled in New York State Agricultural District 4 and contain active farmland; and

4

the submitted survey map shows the site contains an existing one-story house set back 99' from Oran Delphi Road; the map shows the proposed residential two-car garage (20' x 22') situated in front of the house and set 33' from Oran Delphi Road and 5' from the northern lot line; and

5

per the Town of Pompey zoning ordinance, the required minimum front yard setback is 50' and the maximum allowable height is 15' for accessory structures in a single-family land use of the Farm (F) district, requiring an area variance for the proposed garage; and

6

aerial imagery shows the site has existing access to Oran Delphi Road via an asphalt driveway and the lot is primarily forested outside of the land containing the house and driveway; there is also a tree line and gully separating the site from the adjacent residential lot to the north; and

7

the submitted Application for Variance or Appeal of Zoning Inspector's Determination dated September 26, 2017 indicates that the land slopes down from the rear of the lot to the road, with an elevation decrease of 20' indicated from the front of the proposed garage to the road; per the submitted variance application, the proposed location of the garage is based on the topography of the site and trying to locate the garage farther from the road would produce undue hardship; and

8

the existing house is served by individual well and septic system; no changes to the existing infrastructure are proposed; and

9

the New York State Department of Environmental Conservation (NYS DEC) Environmental Assessment Form (EAF) Mapper indicates that the site of the proposed action may contain a species of animal, or associated habitats, listed by the state or federal government as threatened or endangered; and

10

per the EAF Mapper, the project site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the New York State Historic Preservation Office archaeological site inventory; and

Z-17-393



Z-17-393

Z-17-396

SPECIAL PERMIT

National Grid
at 300-324 West Willow Street

National Grid
Tax Map # 104.-10-01.0

City of Syracuse

Received: 10/10/2017

30-Day Deadline: 11/9/2017

1

General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of Interstate Route 690, a state highway, and West Street, a state-owned arterial; and

2

the applicant is requesting a special permit to waive screening and landscaping requirements to allow for parking lot improvements on a 1.54-acre parcel in a Central Business District - General Service (CBD-GS) zoning district; and

3

the site is located in Downtown Syracuse and bound to the north by Herald Place, to the south by West Willow Street, and to the east by North Franklin Street, all of which are city streets; the site is west across North Franklin Street from a restaurant, Dinosaur Bar-B-Que, and abuts an office building to the rear; and

4

the City of Syracuse is currently undertaking a comprehensive project to revise and modernize zoning in the City; according to the ReZone Syracuse draft zoning map dated June 2017, the proposed zoning for this lot is Mixed Used Central Business District (MX-5), which would act to “provide for areas of highest-density residential development, maximum building height, minimal parking, and the greatest range and mix of uses”; and

5

the submitted Boundary Survey dated September 8, 2017 shows the entirety of the site consists of a paved parking lot that is enclosed by a chain link fence; there is a concrete sidewalk along each road front and two paved entrances with gates, one onto West Willow Street and one onto North Franklin Street; a metal guide rail is shown in the Boundary Survey, separating a small western portion of the parking lot that abuts the adjacent office building from the remainder of the lot; and

6

per the City of Syracuse zoning ordinance, parking lots and parking garages are special uses permitted in the CBD-GS zoning district and the maximum permitted parking surface coverage shall be 100%; per the City zoning ordinance, there are planting and screening requirements for parking lots that include providing space for landscaping and/or screening along street lines and side and rear yards that are adjacent to specific uses; and

7

per the submitted Application for Special Permit Review dated October 5, 2017, the proposed parking lot improvements include resurfacing and restriping the existing parking lot; a waiver of the screening and landscaping requirements is also requested for the proposed improvements; and

8

the submitted Justification of Waiver indicates that the requested waiver is intended to allow for the maximum number of parking spaces in the lot which will help to address a shortage of parking in downtown Syracuse; per the Justification of Waiver, the parking lot is utilized by National Grid employees during weekdays and the Downtown Committee during evenings and weekends and granting the waiver provides a safe parking area for those employees and visitors; and

9

the site does not have existing drinking water or wastewater services and no new services are proposed; and

10

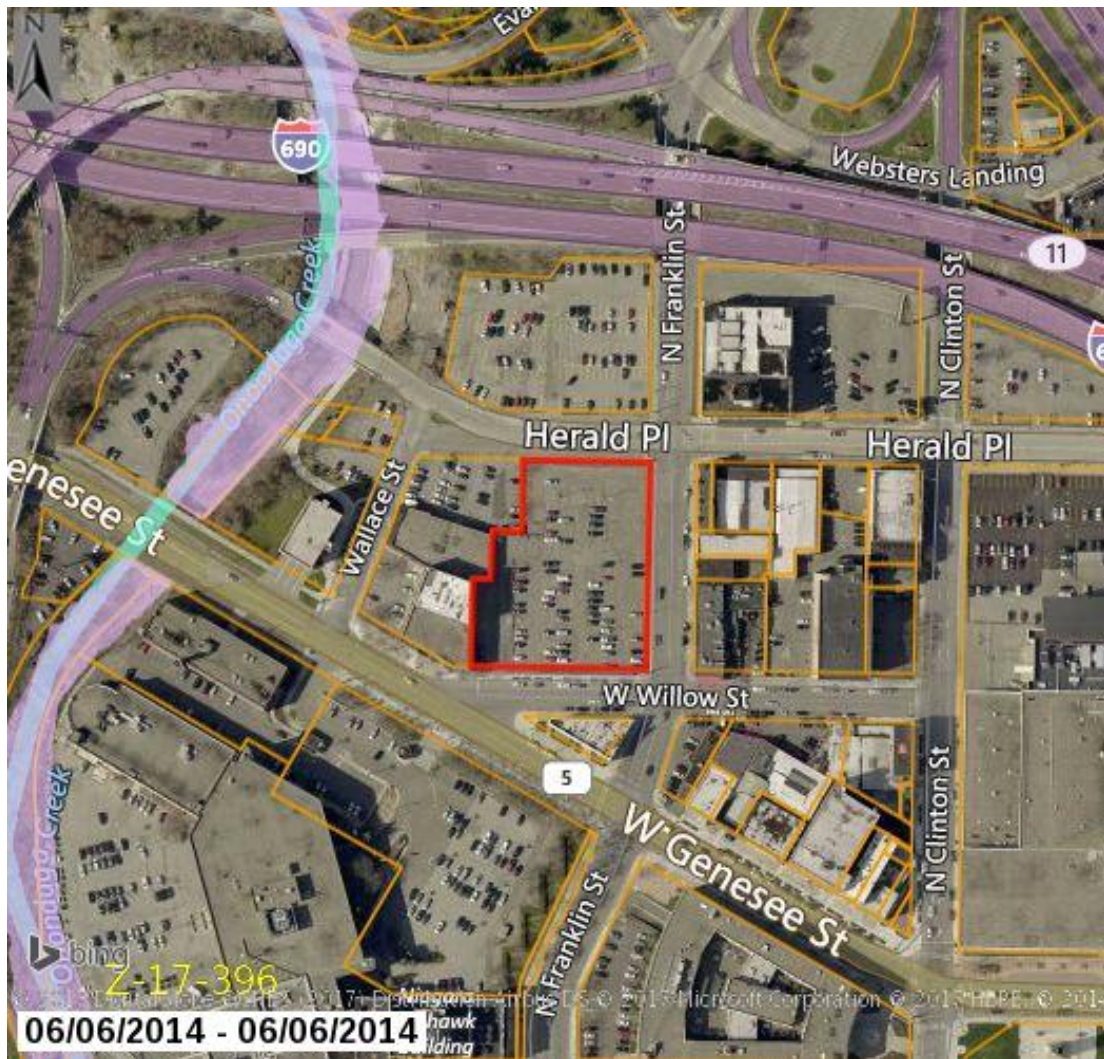
the New York State Department of Environmental Conservation (NYS DEC) Environmental Assessment Form (EAF) Mapper indicates that the site is near the Syracuse Post Office and Court House, Niagara Mohawk Building, which includes offices for National Grid, C.W. Snow & Company Warehouse which are all listed on, or

have been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places; and

the EAF Mapper indicates that the project is within 2,000 feet of three sites in the New York State Department of Environmental Conservation (NYS DEC) Environmental Site Remediation database (734060, C734089, V00588); and

per the EAF Mapper, the site of the proposed action may contain a species of animal, or associated habitats, listed by the state or federal government as threatened or endangered; and

per the EAF Mapper, the project site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the New York State Historic Preservation Office archaeological site inventory; and



Z-17-396

Z-17-398

SITE PLAN

Hovey-Buckley, LLC

at 4483 Buckley Road

Tax Map # 087.-01-30.0, 087.-01-36.2,

Town of Clay

Received: 10/11/2017

30-Day Deadline: 11/10/2017

1 General Municipal Law Section 239-m allows the County Planning Board to review
approval of site plans and the site is located within 500 feet of Buckley Road and Morgan
Road, both county highways; and

2 the applicant is proposing to expand an existing parking lot on 3 lots totaling 10.93 acres
in an Industrial 1 (I-1) zoning district; and

3 in 2007, the Board recommended No Position of a Site Plan referral (Z-07-341)
proposing to construct a 6,000 sf building on the subject site; and

4 the site is located at the intersection of Buckley Road and Morgan Road, both county
roads, in the Town of Clay; the site contains an industrial park occupied by four
businesses, Truax & Hovey, Hearth Cabinets & More, C&R Supply Inc., and Onondaga
Construction Systems; surrounding land uses include various commercial and service
businesses and residential neighborhoods to the west; and

5 the submitted Amended Site Plan dated October 9, 2017 shows the site consists of three
tax parcels totaling 10.93 acres and has 175' of frontage on Buckley Road at the southern
side of the site and 50' of frontage on Morgan Road at the western side of the site; the
plan shows six existing buildings totaling over 65,000 sf of warehouse, office, and
retail/showroom space; the four existing buildings along the eastern lot line are
surrounded by an existing asphalt parking area and a large gravel parking area is shown to
the west of the asphalt; the total number of existing parking spaces on-site is 81; and

6 the Amended Site Plan also shows an existing asphalt driveway onto Buckley Road at the
southeastern corner of the site, an existing asphalt driveway onto Morgan Road at the
northwestern corner of the site, and a detention basin just south of the northern boundary
of the site and the northerly driveway; and

7 per the Amended Site Plan, there is a 40' utility easement running north-south between
the buildings and a 25' "Buckeye" Pipeline/New York Transit Co. Inc. easement running
east-west in the northern portion of the site; no structures appear to be over the easement
areas, though portions of the existing asphalt parking lot do; and

8 the Amended Site Plan shows the proposed project consists of expanding the existing
parking area by 0.34 acres (28 parking spaces); per the plan, the proposed parking area
will be gravel/asphalt and located along one of the southern boundary lines; aerial
imagery shows that the area for the proposed parking lot expansion is currently forested
and the southern boundary is shared with several residential lots; and

9 the site is served by public drinking water and sewers and is located in the Wetzel Road
Wastewater Treatment Plant service area; no changes to the existing infrastructure are
proposed; and

10 the New York State Department of Environmental Conservation (NYS DEC)
Environmental Assessment Form (EAF) Mapper indicates that the project is within 2,000
feet of a site in the New York State Department of Environmental Conservation (NYS
DEC) Environmental Site Remediation database (remediation site number); and

11 per the EAF Mapper, the site of the proposed action may contain a species of animal, or
associated habitats, listed by the state or federal government as threatened or endangered;
and



Z-17-398

Z-17-401

AREA VARIANCE

Charles P. Money
at 8852 Beach Road

Tax Map # 100.-01-47.1

Town of Cicero

Received: 10/12/2017

30-Day Deadline: 11/11/2017

1

General Municipal Law Section 239-m allows the County Planning Board to review the granting of use or area variances and the site is located within 500 feet of the municipal boundary between the Town of Cicero and Oswego County; and

2

the applicant is requesting an area variance to construct an 8' x 10' shed with a 16.75 foot front yard setback where 30 feet is required on a 0.17-acre parcel in a Residential (R-10) zoning district; and

3

the site is located along Beach Road, a local road, in the Town of Cicero; the site abuts Oneida Lake to the rear and is adjacent to other residential lots; and

4

the submitted survey map dated August 7, 2017 shows the site contains an existing two-story house with rear deck and a concrete retainer along the shoreline; per the survey map, the site has existing access to Beach Road via a 44' wide asphalt driveway; and

5

per the submitted Supporting Attachment for the Zoning Board of Appeals Application Form, the proposed shed will be delivered, placed, and leveled with concrete blocks by a 3rd party maker; the survey map shows the proposed shed (8' x 10') will be situated at the front, southern corner of the house, set back 16.75' from Beach Road and 6' from the eastern lot line; and

6

per the Town of Cicero zoning ordinance, a minimum front yard setback of 30' is required in a Residential (R-10) zoning district; as the proposed shed will have a minimum setback of 16.75' from the street line, an area variance is requested; and

7

the existing house is served by public drinking water and sewers and is located in the Brewerton Wastewater Treatment Plant service area; no changes to the existing infrastructure are proposed; and

8

the current FEMA Flood Insurance Rate Maps (FIRM) indicate that the entirety of the site is located within the 100-year floodplain, which may require elevation of structures and other mitigation; the Onondaga County Hazard Mitigation Plan has identified flooding as one of five primary natural hazards of local concern, with the potential to cause extensive threat to property and safety; buildings within the floodplain can negatively affect the free flow of nearby waterways and drainage, and building within a floodplain is therefore discouraged; and



Z-17-401

Z-17-403

AREA VARIANCE

Joseph Mastroianni
at South Bay Road

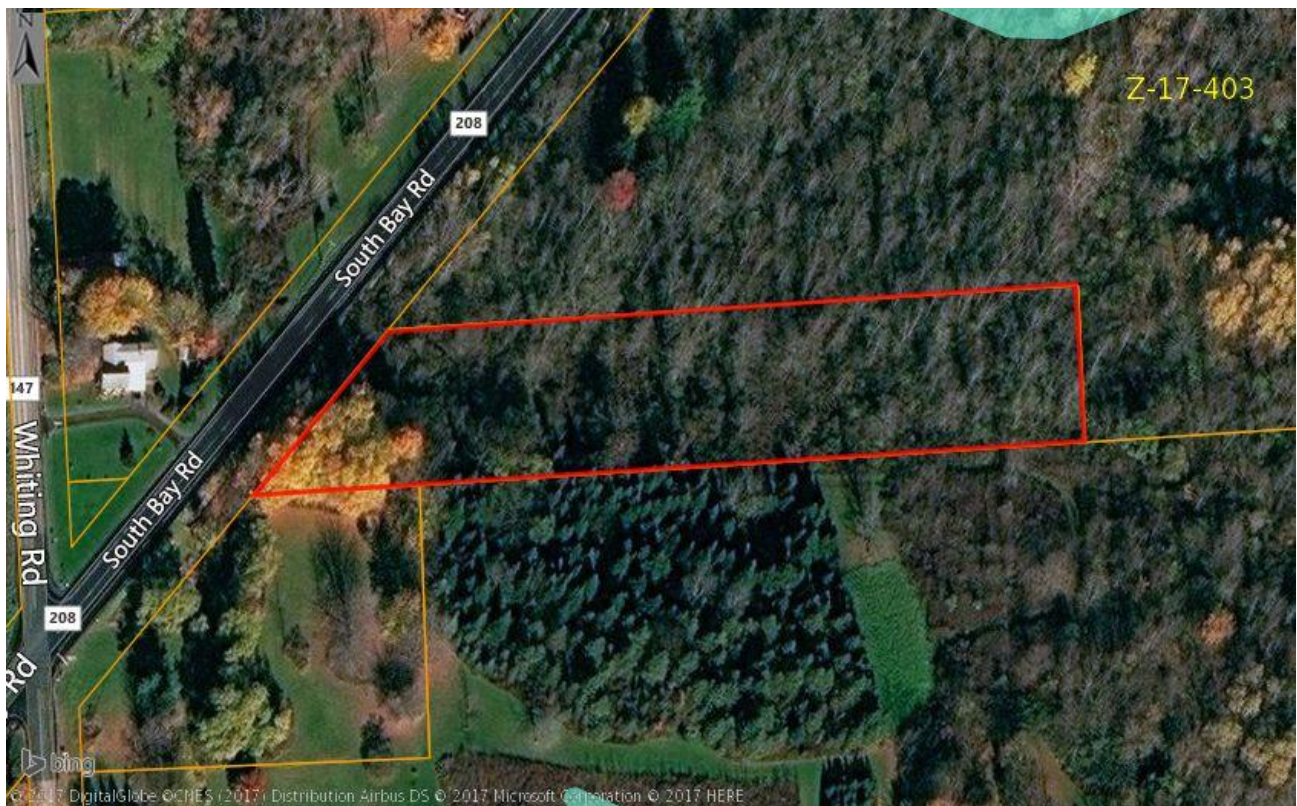
Hummer Lawn & Snow
Tax Map # 080.-02-32.2

Town of Cicero

Received: 10/12/2017

30-Day Deadline: 11/11/2017

- 1 General Municipal Law Section 239-m allows the County Planning Board to review the granting of use or area variances and the site is located within 500 feet of South Bay Road and Whiting Road, both county highways; and
- 2 the applicant is requesting an area variance to construct a 140' x 70' storage building to house landscaping company materials and equipment on a 2.40-acre parcel in an Agricultural (AG) zoning district; and
- 3 the Board recently reviewed a Site Plan referral (Z-17-293) as part of the proposed project; the Board recommended Modification, citing required coordination with the Onondaga County Department of Transportation regarding traffic data and site access and with the Onondaga County Health Department regarding onsite wastewater systems; and
- 4 the site consists of a vacant, partially wooded parcel with frontage on South Bay Road, a county road, in the Town of Cicero; surrounding land uses include primarily vacant, wooded parcels, agricultural fields, and low-density residential lots; and
- 5 aerial imagery shows the site has a large clearing and an existing gravel area at the front of the site with an existing driveway onto South Bay Road; and
- 6 the submitted Site Plan dated August 14, 2017 shows the proposed one-story pole barn (140' x 70'), a proposed gravel lot situated at the front of the building and extending along the southern side and to the rear, three bins (15' x 20' each) at the rear of the building and stone lot, a grass swale along the northern lot line, and a pond at the rear of the lot; per the Site Plan, the proposed gravel lot will provide parking for 15 vehicles and access to the site will come from a proposed driveway onto South Bay Road; and
- 7 per the submitted Memo to the Town of Cicero Zoning Board of Appeals dated September 4, 2017, the proposed pole barn is intended for vehicle and equipment storage for a landscape business, Hummer Lawn and Snow; and
- 8 per the Town of Cicero zoning ordinance, a minimum side yard setback of 50' is required in an Agricultural (AG) zoning district; as the proposed pole barn will have a setback of 30' from the northern boundary and 46.86' from the southern boundary, area variances are requested; and
- 9 the referral notice indicates that the site is not currently served by drinking water or wastewater facilities, however it was indicated in the previously reviewed Site Plan referral (Z-17-293) that there are two wells on site; no infrastructure is proposed for the pole barn; and
- 10 the New York State Department of Environmental Conservation Environmental Assessment Form (EAF) Mapper indicates that the project site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the New York State Historic Preservation Office archaeological site registry; and



Z-17-403

Z-17-405

SITE PLAN

CDS Housing

Cicero Commons

Brewerton Road

Tax Map # 092.-01-03.5

Town of Cicero

Received: 10/12/2017

30-Day Deadline: 11/11/2017

1

General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Brewerton Road (Route 11), a state highway, and the municipal boundary between the Town of Cicero and the Town of Clay; and

2

the applicant is proposing to construct a 50-unit, two-story senior housing complex, with associated parking, lighting, utilities and stormwater management on a 53.88-acre parcel in a Planned Unit Development (PUD) zoning district; and

3

in 2010, the Board reviewed Subdivision (S-10-49) and Site Plan (Z-10-192) referrals for a proposed project to construct an elderly-care facility with 13 housing units; and

4

the site is located in Cicero Commons along Brewerton Road in the Town of Cicero; surrounding land uses include the Cottages at Garden Grove (a skilled nursing community), the Northern Onondaga Public Library, Cicero Twin Rinks, and other low density commercial establishments along Brewerton Road; and

5

the site consists of a vacant 53.88-acre parcel, of which the submitted Sketch Plan dated August 21, 2017 shows the proposed project area will include about 7 acres at the southeast corner; the submitted Site Plan dated September 21, 2017 shows the proposed project area to be located south of the Northern Onondaga Public Library; a proposed property line is shown around the project area, indicating that the parcel may be subdivided as part of the project; a referral regarding this action has not been reviewed by the County Planning Board; and

6

a letter to the Town of Cicero Planning Board dated August 21, 2017, included in the referral materials, indicates the proposed project will include a two-story, multi-family complex with 50 units of which 40 units will be reserved as age restricted (55 and up) affordable senior housing and the remaining 10 will be reserved for individuals with development disabilities, and that the applicant will apply for funding from the Office for People with Development Disabilities (OPWDD) and Housing Community Renewal (HCR) to finance a portion of the proposed project; and

7

the Sketch Plan shows a proposed L-shaped building (27,000 sf footprint) situated towards the center of the project area, a parking lot at the front of the building with 43 parking (75 spaces required), a 5' wide sidewalk encircling the building, a patio at the rear of the building, a dumpster enclosure area north of the building, and two stormwater management areas, one at the front of the building and one at the rear; per the letter to the Town of Cicero Planning Board, a waiver or equivalent relief will be requested for the required number of parking spaces (1.5 spaces per dwelling unit); a referral regarding this action has not been reviewed by the County Planning Board; and

8

a proposed driveway for the complex is shown on the Sketch Plan to run along the north side of the parking area and connect to a proposed extension of Knowledge Lane, a local road that dead ends to the northeast; Knowledge Lane ultimately joins Meltzer Court, a local road to the north, which has access onto Brewerton Road; an area labeled "proposed 50' right-of-way for future access road" is shown along the eastern and southern boundary of the project area, and connects to the proposed extension of Knowledge Lane; and

9 proposed signage for the project includes a monument sign (3' x 2') on a 1' tall base to be
located at the entrance to the complex; and

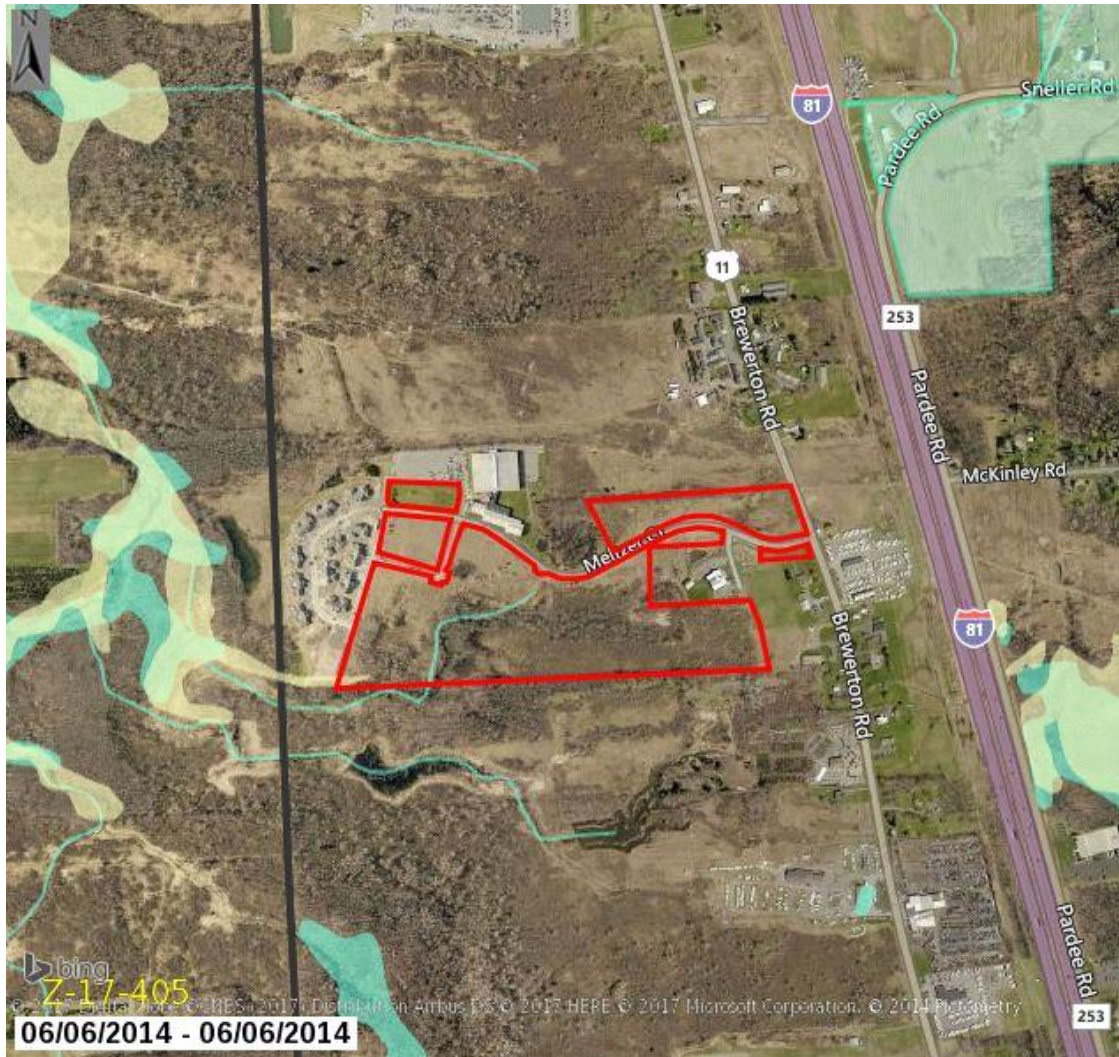
10 the Sketch Plan indicates that an area of the existing forest cover will be cleared for the
proposed project; remaining forest is shown along the northern and southern boundaries
of the project area and to the rear of the proposed complex and stormwater management
area; and

11 the submitted Environmental Assessment Form (EAF) dated August 18, 2017 indicates
that 3.6 acres of the site will be physically disturbed by the proposed project and 98% of
stormwater will be retained on site within a stormwater management area; and

12 per the Central New York Regional Transportation Authority (CENTRO), transit service
runs along Brewerton Road, with limited service to Cicero Commons and more frequent
service at Brewerton Road, just north of the intersection with Meltzer Road; per
CENTRO, site design that accommodates bikes and pedestrians can foster opportunities
for transit services; and

13 the site has access to public drinking water and sewers and is located in the Oak Orchard
Treatment Plant service area; the Onondaga County Department of Water Environment
Protection has determined that the submitted project is located in an area that ultimately
flows to the Davis Road Pump Station which is designated as flow constrained or
impacted by excessive wet weather flow or is tributary to a Combined Sewer Overflow
(CSO); and

14 GIS mapping shows the possible presence of state and federal wetlands on the site; a
small area of state wetland, which is part of a much larger wetland (BRE-11) to the west,
is shown at the southwestern corner of the site; a riverine federal wetland is shown
extending from the southern adjacent parcel into the center of the site, which appears to
follow a stream on the site; contrary to GIS mapping, approximate wetland limits and a
100' buffer area are shown at the northwest corner of the project area; the proposed
development for the site does not appear to encroach on the stream or wetland areas; per
the letter to the Town of Cicero Planning Board, the presence of wetlands on site will
need to be further evaluated to verify that there will be no proposed impacts; per the New
York State Department of Environmental Conservation (NYS DEC) EAF Mapper, the
site of the proposed action may contain a species of animal, or associated habitats, listed
by the state or federal government as threatened or endangered; and



Z-17-405

Z-17-406

SITE PLAN

Addcom Electronics
at Stewart Drive

Addcom Electronics
Tax Map # 057.-02-33.0

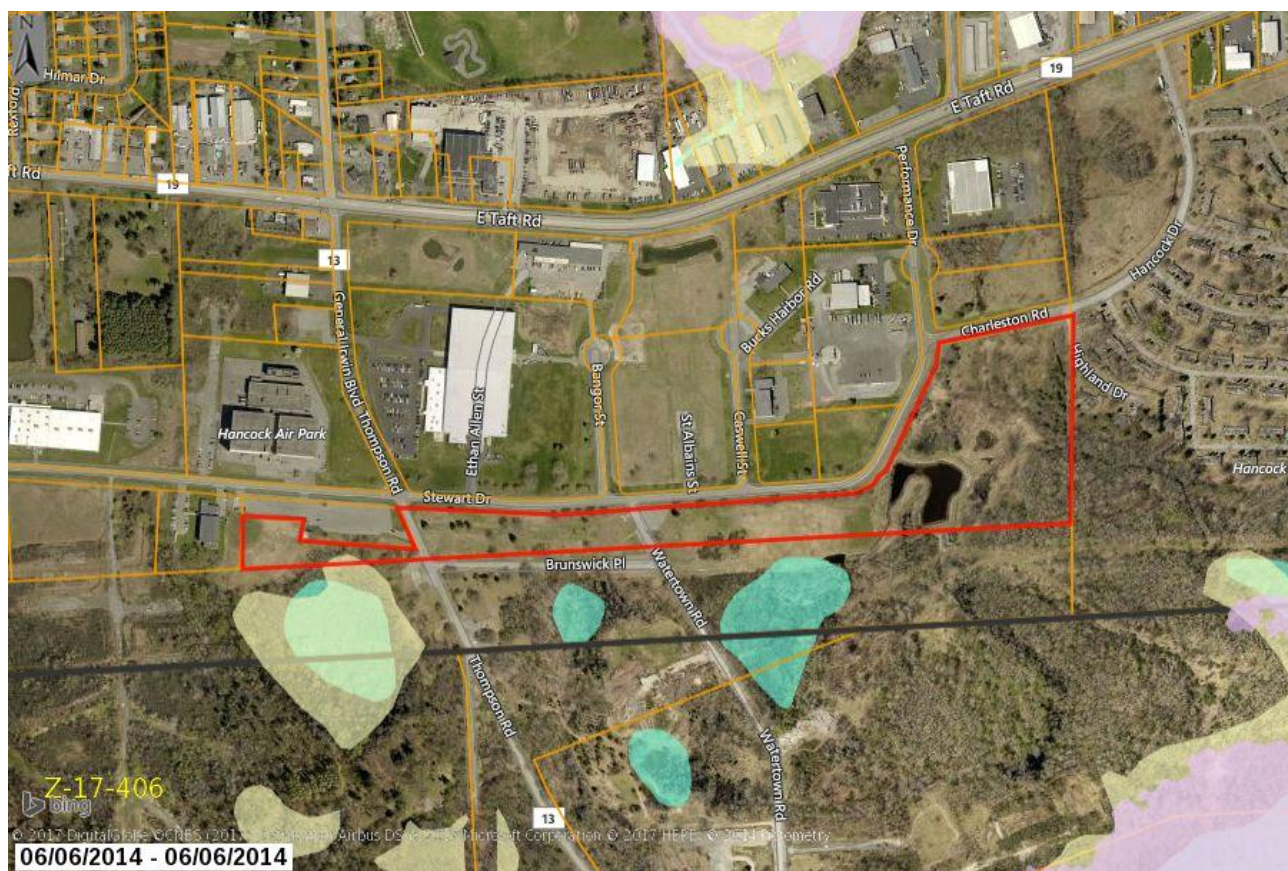
Town of Cicero

Received: 10/13/2017

30-Day Deadline: 11/12/2017

- 1 General Municipal Law Section 239-m allows the County Planning Board to review
approval of site plans and the site is located within 500 feet of the municipal boundary
between the Town of Cicero and the Town of DeWitt; and
- 2 the applicant is proposing to construct a 4,800 sf building on a 0.745-acre parcel in a
General Commercial Plus zoning district; and
- 3 the Board recently reviewed Area Variance (Z-17-290) and Preliminary Subdivision (S-
17-73) referrals as part of the proposed project; the Board recommended No Position
With Comment for both referrals, citing coordination with the Onondaga County
Department of Water Environment Protection and Onondaga County Water Authority on
proposed wastewater and drinking water services, respectively; and
- 4 the site is located within the Hancock Airpark, generally zoned General Commercial Plus,
and housing a variety of large-scale commercial and industrial uses; the subject parcel
and adjacent lands are owned and controlled by the Onondaga County Department of
Economic Development as part of the Airpark, as well as lands owned by the adjacent
Hancock International Airport; and
- 5 the submitted Site Plan – Existing Features dated May 1, 2017 shows the site to occur on
an approximately 215' x 150' portion (0.74 acres) of a vacant 20.92-acre parcel which
extends along the south side of Stewart Drive and Charleston Road, both local roads; the
development would occur directly across from the intersection with Ethan Allen Street, a
local road; per the plan, the site contains an existing concrete pad and concrete walk, and
is otherwise undeveloped; and
- 6 the submitted Site Plan – Existing Features dated August 10, 2017 shows a proposed
building (4,800 sf) for Addcom Electronics situated on the eastern portion of the site,
with two delivery bays on the western side of the building, related asphalt west of the
building with parking for 5 vehicles, and a proposed driveway onto Stewart Drive; a
relocated antenna is shown at the rear of the proposed building; and
- 7 a proposed internally lit, freestanding sign is shown in a landscaped area west of the
driveway and set back 21' from Stewart Drive; and
- 8 proposed hours of operation are Monday through Friday 9am to 5pm with 2 to 3
employees on the site at a time; and
- 9 the site is to be served by public drinking water (OCWA) and public wastewater
facilities; the site is located inside the Onondaga County Sanitary District, in the Oak
Orchard Treatment Plant and Davis Road Pump Station service areas; the Onondaga
County Department of Water Environment Protection has determined that the submitted
project is located in an area designated as flow constrained or impacted by excessive wet
weather flow or is tributary to a Combined Sewer Overflow (CSO); and
- 10 the New York State Department of Environmental Conservation (NYS DEC)
Environmental Assessment Form (EAF) Mapper indicates that the project is within 2,000
feet of sites listed in the NYS DEC Environmental Site Remediation database (ID
734054); per the Environmental Site Remediation Database, the site is the New York Air
National Guard, Hancock Field, and is a 2.5 acre site which is part of the State Superfund
Program; per the Site Health Assessment, "Residents in the vicinity of the site area are
served by a public water supply with a remote source. PCBs in surface soil have been

remediated and the exposure potential has been eliminated.”; and
 per the EAF Mapper, the site is located over, or immediately adjoining, primary and
 principal aquifers; and



Z-17-406

S-17-79

FINAL SUBDIVISION

Jim Burt

at Tanner Road

Tax Map # 057.-01-01.0

Town of Onondaga

Received: 9/29/2017

30-Day Deadline: 10/29/2017

1

General Municipal Law Section 239-n allows the County Planning Board to review the approval of subdivisions and the site is located within 500 feet of Tanner Road (Route 184), a county highway, and a farm operation located in a NYS Agricultural District; and the applicant is subdividing a 67-acre parcel into two new lots, Lot 1 (64 acres) and Lot 2 (3.32 acres), to allow the smaller parcel to be conveyed to the neighboring parcel in a Residential and Country (R-C) zoning district; and

2

3

the site is located in a rural area in the Town of Onondaga; the site and surrounding lands are enrolled in New York State Agricultural District 1 and contain active farmland; and the submitted Preliminary Plan dated September 15, 2017 shows the parcel (67.12 acres) has frontage on Tanner Road, a county road, and is adjacent to a 287-acre parcel; aerial imagery shows the front portion of the site contains an agricultural field and the rear of the site consists of forested land; the adjacent parcel contains Tanner Valley Golf Course, and a portion of the golf course appears to fall on the northeastern corner of the 67-acre parcel; and

4

5

per the Preliminary Plan, the proposed subdivision will create Lot 1 (64 acres) and Lot 2 (3.12 acres); proposed Lot 2 is shown as a triangular-shaped parcel at the northeastern corner of the site, which includes the portion of the golf course; the Preliminary Plan indicates that the proposed subdivision is intended for conveyance purposes and Lot 2 will be combined with the adjacent golf course; and

6

the Onondaga County Department of Finance Office of Real Property Services indicates that the site is not currently served by drinking water or wastewater infrastructure; no new drinking water or wastewater services are proposed and the site is outside of the Onondaga County Sanitary District; and

7

the Preliminary Plan states "Lot 1 is not an approved building lot until such time as a waste water disposal system, approved by the Onondaga County Health Department, and an approved Onondaga County driveway permit are accepted and filed with the Town of Onondaga Codes Office"; and

8

the Preliminary Plan shows the southern boundary of the site aligning with the center of Gulf Brook; GIS mapping shows an additional stream that runs east-west through the rear portion of the site; both streams appear to fall in the forested land on the site and GIS mapping shows the possible presence of federal wetlands associated with both of the streams; and

9

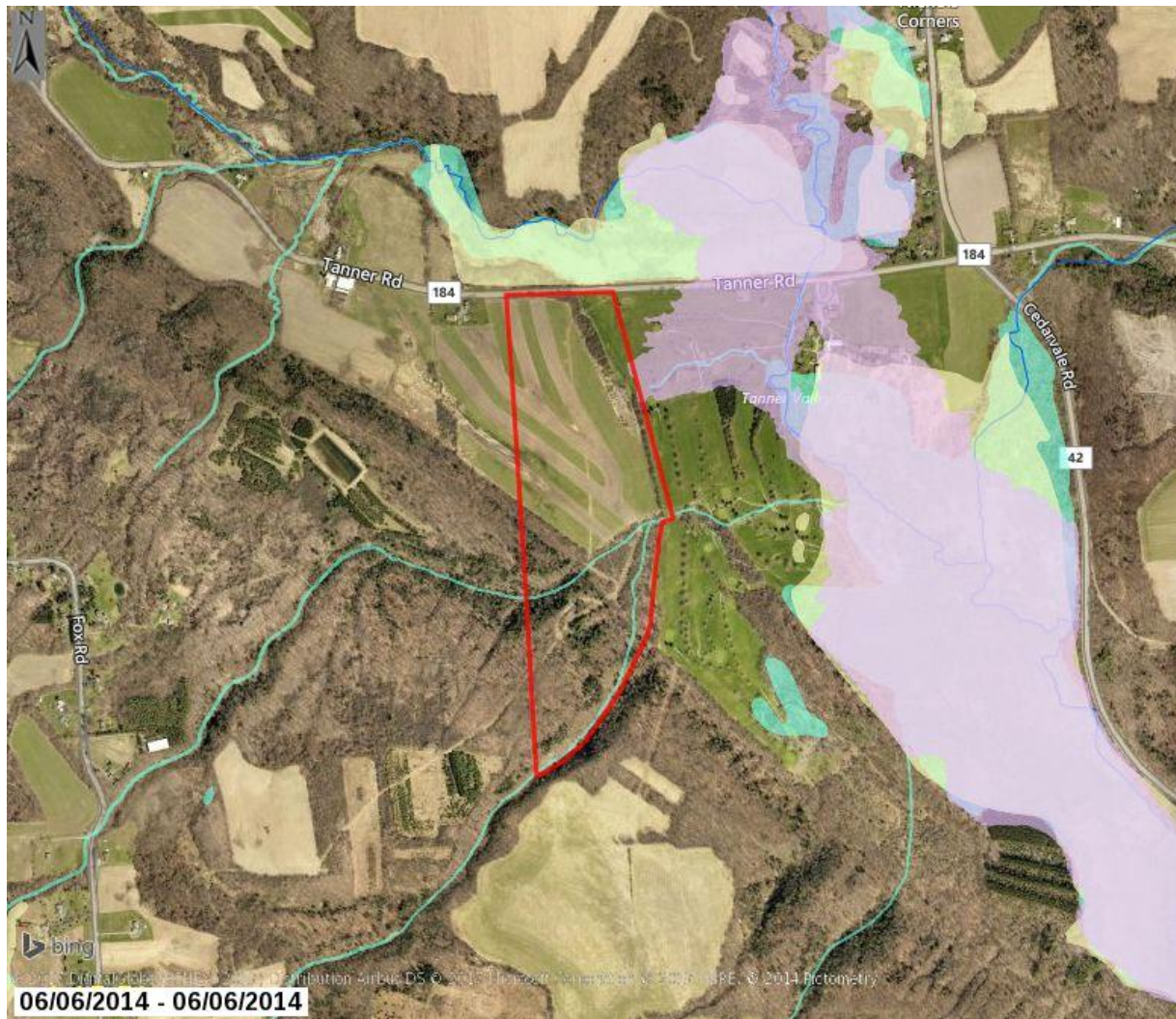
the current FEMA Flood Insurance Rate Maps (FIRM) indicate that a significant portion of the adjacent golf course is located within the 100-year floodplain, as well as a small area along the eastern boundary of Lot 2; the Onondaga County Hazard Mitigation Plan has identified flooding as one of five primary natural hazards of local concern, with the potential to cause extensive threat to property and safety; buildings within the floodplain can negatively affect the free flow of nearby waterways and drainage, and building within a floodplain is therefore discouraged; and

10

per the New York State Department of Environmental Conservation (NYS DEC) Environmental Assessment Form (EAF) Mapper, the site is located over, or immediately adjoining, a principal aquifer; and

11

per the EAF Mapper, the site of the proposed action may contain a species of animal, or associated habitats, listed by the state or federal government as threatened or endangered; and



S-17-79

S-17-88

FINAL SUBDIVISION

Michael J. Cummins

at 405 & 407 North Midler Avenue

Tax Map # 031.-05-02.0, 031.-05-01.2

Town of DeWitt

Received: 10/16/2017

30-Day Deadline: 11/15/2017

1 General Municipal Law Section 239-n allows the County Planning Board to review the approval of subdivisions and the site is located within 500 feet of the municipal boundary between the Town of DeWitt and the City of Syracuse; and

2 the applicant is proposing a lot line adjustment between two lots, with TM# 031.-05-01.2 changing from 3.52 acres to 5.85 acres and TM# 031.-05-02.0 changing from 3.44 acres to 1.50 acres, in an Industrial zoning district; and

3 the site is bound by North Midler Avenue, Wavel Street, Danzig Street, and Ponzan Avenue, all local roads, and is located in the Town of DeWitt just north of the municipal boundary with the City of Syracuse and a CSX rail line; surrounding land uses include various manufacturing and industrial sites; and

4 the submitted map dated October 12, 2017 shows the site consists of two tax parcels; the northerly parcel, 031.-05-01.2 (3.52 acres), is shown to contain multiple existing trailers, two buildings, and a house with existing drives throughout the lot providing access to North Midler Avenue and the adjacent parcel to the north which also contains trailers; the southerly parcel, 031.-05-02.0 (3.44 acres), contains multiple trailers on the eastern portion of the lot with the remainder of the lot being undeveloped; and

5 the submitted Subdivision Application indicates that the proposed lot line adjustment will move the southern line of parcel 031.-05-01.2 to increase the size of the parcel to 5.85 acres and include all of the existing mobile homes on the same lot; per the application, parcel 031.-05-02.0 will decrease in size to 1.5 acres and consist of only the undeveloped lands; and

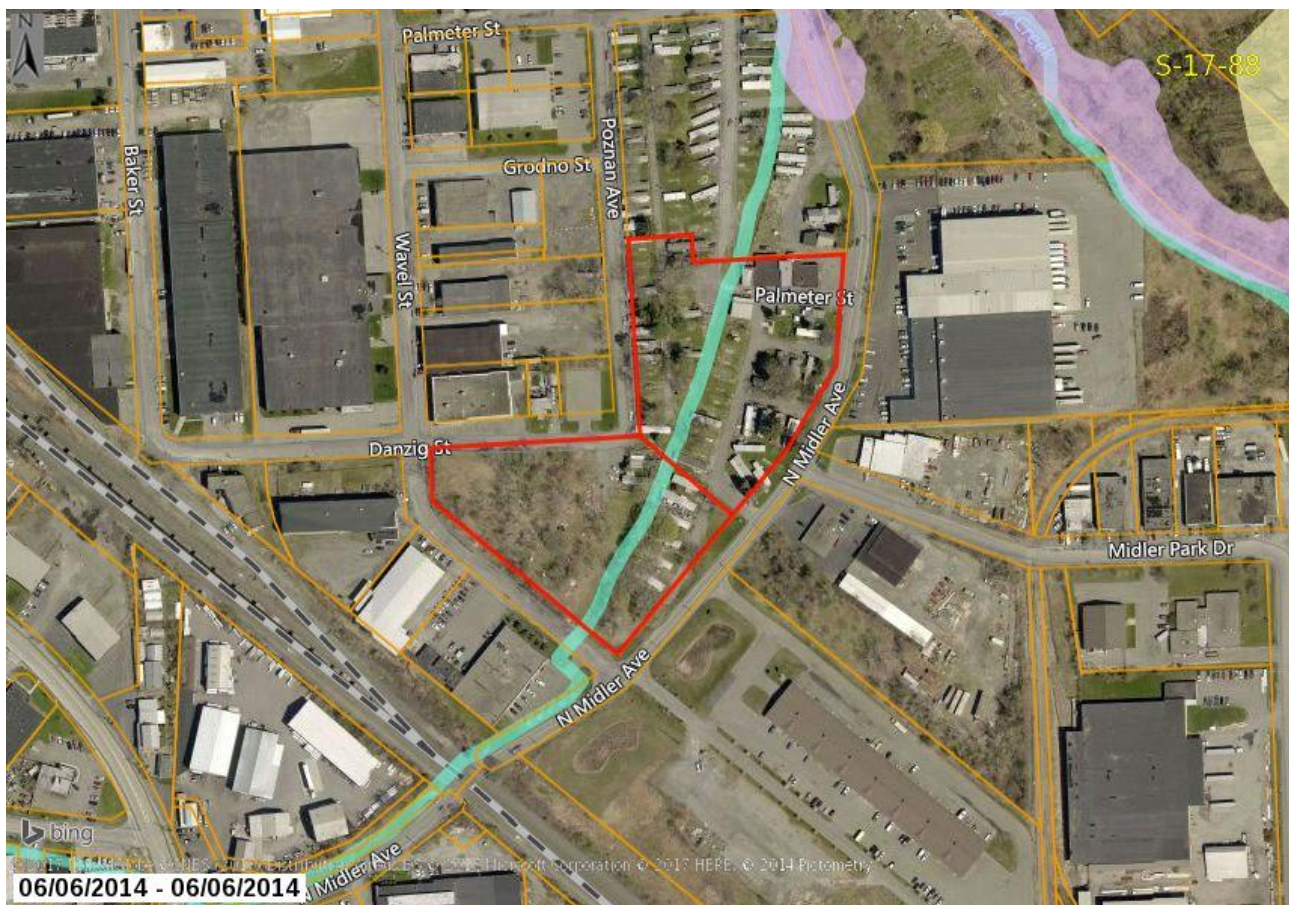
6 the site is served by public drinking water and sewers and is located in the Metropolitan Wastewater Treatment Plant and Ley Creek Pump Station service areas; no changes to the existing infrastructure are proposed; and

7 the Onondaga County Department of Water Environment Protection has determined that the submitted project is located in an area designated as flow constrained or impacted by excessive wet weather flow or is tributary to a Combined Sewer Overflow (CSO); and

8 the site contains a waterbody listed as water-quality impaired (Ley Creek tributaries) which is shown in the map to cross through the existing mobile home park and parcel 031.-05-01.2; GIS mapping shows the possible presence of federal wetlands associated with the creek; and

9 the New York State Department of Environmental Conservation (NYS DEC) Environmental Assessment Form (EAF) Mapper indicates that the project is within 2,000 feet of three sites in the New York State Department of Environmental Conservation (NYS DEC) Environmental Site Remediation database (C734087, 734032, 734064); and

10 per GML § 239-nn, the legislative body or other authorized body having jurisdiction in a municipality shall give notice to an adjacent municipality when a hearing is held by such body relating to a subdivision, site plan, special use permit, or a use variance on property that is within five hundred feet of an adjacent municipality and such notice shall be given by mail or electronic transmission to the clerk of the adjacent municipality at least ten days prior to any such hearing; and



S-17-88

Z-17-394

SITE PLAN

Bell Atlantic Mobile Systems of Allentown, Inc. d Verizon Wireless
at 4600 Southwood Heights Drive Tax Map # 035.-01-06.2

Town of Onondaga

Received: 10/2/2017

30-Day Deadline: 11/1/2017

1 General Municipal Law Section 239-m allows the County Planning Board to review
approval of site plans and the site is located within 500 feet of Route 173 (East Seneca
Turnpike), a state highway; and
2 the applicant is proposing to co-locate and operate a wireless telecommunication facility
on the roof top of the existing Iroquois Nursing Home on a 10.0-acre parcel in a Planned
Residential Community (PRC) zoning district; and
3 in 2007, the Board recommended No Position for a Special Permit referral (Z-07-53)
proposing to install six cellular antennas onto the penthouse of an existing building
(Iroquois Nursing Home) on the subject parcel; and
4 the site is located on Southwood Heights Road, a local road, just south of East Seneca
Turnpike, a state road, in the Town of Onondaga; surrounding land uses include single-
family residential neighborhoods, senior housing, and several apartment complexes; and
5 aerial imagery shows the site contains an existing one to four-story building, the Iroquois
Nursing Home, with three existing driveways onto Southwood Heights Drive, a large
associated parking area to the west of the facility, and a drive encircling the building that
includes additional rows of parking spaces; the site abuts residential lots to the east and
south; there are some trees along the southern lot line and a more substantial tree buffer
along the eastern boundary; and
6 the proposed wireless telecommunications facility will include an area of leased
equipment space (20' x 24') and 3 areas of leased antenna space (12' x 12'-6") on the
roof of the building to accommodate 12 roof-mounted antennas (8' tall), 1 GPS antenna,
and a roof-mounted equipment shelter (10' x 10') on an elevated platform (16' x 22') and
an area of ground space (4' x 6') for a ground-mounted generator off the southwestern
corner of the building; the submitted Environmental Assessment Form (EAF) dated
September 22, 2017 states that proposed roof-mounted antennas will be installed at a
height of 56' above ground level; and
7 a letter submitted to the Town of Onondaga Town Board dated September 27, 2017,
included in the referral materials, indicates that the proposed wireless
telecommunications facility will be unmanned and visited for routine maintenance and
inspection once a month; and
8 the site is served by public drinking water and sewers and is located in the Metropolitan
Wastewater Treatment Plant service area; no changes to the existing infrastructure are
proposed; and
9 the Onondaga County Department of Water Environment Protection has determined that
the submitted project is located in an area designated as flow constrained or impacted by
excessive wet weather flow or is tributary to a Combined Sewer Overflow (CSO); and
10 per the New York State Department of Environmental Conservation (NYS DEC) EAF
Mapper, the site of the proposed action may contain a species of animal, or associated
habitats, listed by the state or federal government as threatened or endangered; and



Z-17-394

Z-17-397

PROJECT SITE
REVIEW

Edward J. Grabowski c/o St. Joseph's Hospital
at 301 Prospect Avenue

St. Joseph's Hospital

Tax Map # 017.-11-01.4

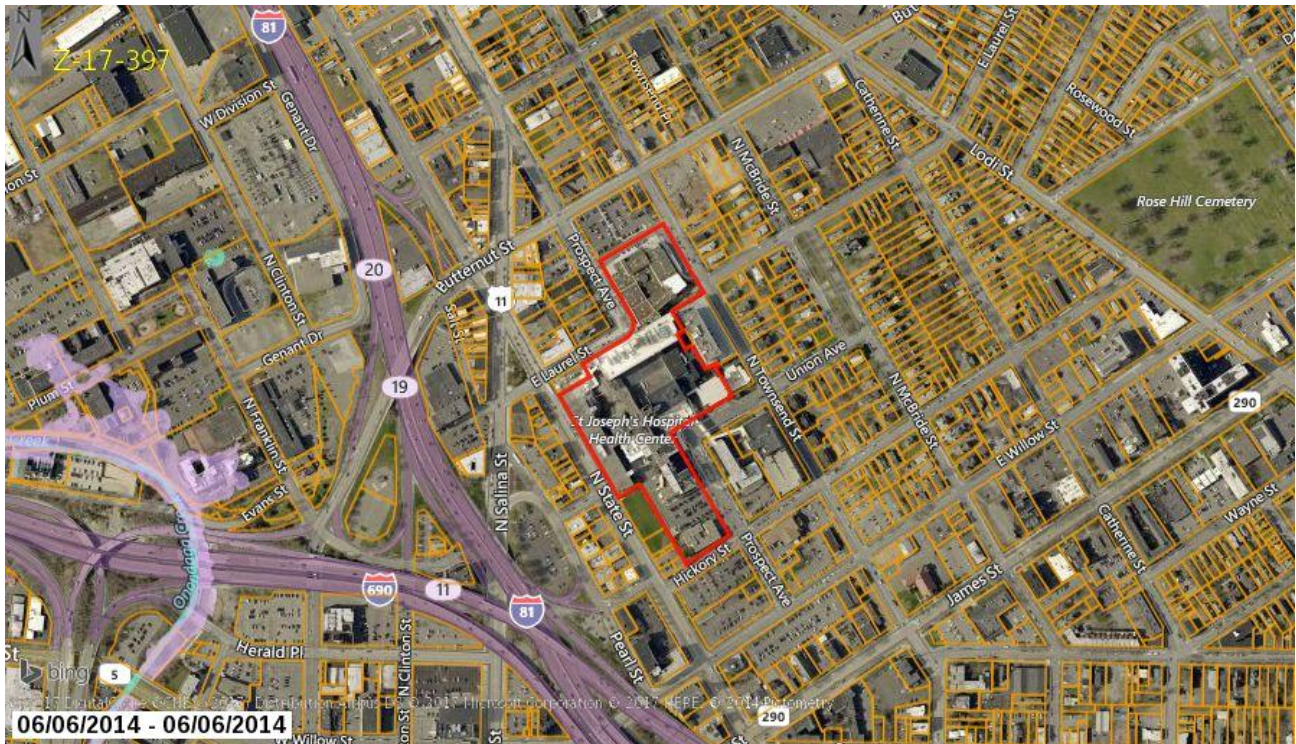
City of Syracuse

Received: 10/10/2017

30-Day Deadline: 11/9/2017

- 1 General Municipal Law Section 239-m allows the County Planning Board to review
approval of site plans and the site is located within 500 feet of Interstate Route 81, a state
highway; and
- 2 the applicant is proposing to establish a heliport and construct an enclosed ramp on the
roof of an existing building of St. Joseph's Hospital on a 2.23-acre parcel in a Planned
Institutional District (PID) zoning district; and
- 3 the Board has reviewed several referrals regarding St. Joseph's Hospital Planned
Institutional District (PID), including a Site Plan referral (Z-13-160) to add a rain garden,
a Site Plan referral (Z-13-161) to add a monument sign, a Project Site Review referral (Z-
13-197) to install a gas turbine, and an Other Authorization referral (Z-14-17) to install
backlit signage, with all proposed projects intended for the subject parcel; and
- 4 the site is along North State Street, a city-owned portion of NYS Route 11, in the
Northside neighborhood of the City of Syracuse; the parcel contains a portion of the St.
Joseph's Hospital facility and has frontage on North Townsend Street, Union Avenue,
Prospect Avenue, Hickory Street, and East Laurel Street, all city streets; St. Joseph's
Hospital facility also occupies a number of the adjacent or nearby parcels; other
surrounding land uses include various residential and commercial lots; and
- 5 the City of Syracuse is currently undertaking a comprehensive project to revise and
modernize zoning in the City; according to the ReZone Syracuse draft zoning map dated
June 2017, the proposed zoning for this lot is Planned Institutional District (PID), which
would act to "allow for the orderly, cooperative, and flexible development and expansion
of institutional land uses"; and
- 6 aerial imagery shows the site (2.23 acres) contains a large, existing building that occupies
most of the parcel and an existing building at the southern end of the parcel, both of
which contribute to St. Joseph's Hospital Health Center; there is minimal parking shown
on the site, however, adjacent and nearby parcels that are also part of St. Joseph's facility,
provide additional parking lots and parking garages; and
- 7 the submitted Environmental Assessment Form (EAF) dated September 28, 2017 states
the proposed helicopter landing pad (heliport) will be 55' x 55' and installed on a portion
of the existing building's roof along North State Street with a safety apron and covered
patient entrance to the hospital; and
- 8 a letter to the City of Syracuse Zoning Administrator dated October 2, 2017, included in
the referral materials, states that the proposed "heliport is primarily designed to
accommodate cardio (heart) patients from outside the immediate CNY area" and
"previously, such patients were flown to the Syracuse International Airport and
transported to St. Joseph's by ambulance, but this practice has been discontinued by the
authorities"; and
- 9 the site is served by municipal drinking water and public sewers and is located in the
Metropolitan Wastewater Treatment Plant service area; no changes to the existing
infrastructure are proposed; and
- 10 the New York State Department of Environmental Conservation (NYS DEC) EAF
Mapper indicates that the site is southeast of the North Salina Street Historic District

which is listed on the National Register of Historic Places; and
the EAF Mapper indicates that the project is within 2,000 feet of four sites in the New
York State Department of Environmental Conservation (NYS DEC) Environmental Site
Remediation database (734060, C734089, V00588, E734109); and
per the EAF Mapper, the site of the proposed action may contain a species of animal, or
associated habitats, listed by the state or federal government as threatened or endangered;
and



Z-17-397

Z-17-400

AREA VARIANCE

Eric Taylor

at 8879 Waterview Circle

Tax Map # 085.-01-57.0

Town of Cicero

Received: 10/12/2017

30-Day Deadline: 11/11/2017

- 1 General Municipal Law Section 239-m allows the County Planning Board to review the
granting of use or area variances and the site is located within 500 feet of Lakeshore
Road (Route 123), a county highway; and
- 2 the applicant is requesting an area variance to construct a 14' x 32' garage addition with a
front yard setback of 22.3 feet where 30 feet is required on a 0.28-acre parcel in a
Residential (R-10) zoning district; and
- 3 the site is located at the intersection of Waterview Circle, a local road, and Lakeshore
Road, a county road, in a residential neighborhood in the Town of Cicero; the site is
south of South Bay in Oneida Lake; and
- 4 the submitted survey map dated August 8, 2016 shows the site contains an existing two-
story frame house with an attached two-car garage, a front porch, and a rear deck, and a
frame shed at the northeastern corner of the lot; per the survey map, there is existing
access to the site via an asphalt driveway onto Waterview Circle; the approximate
location of a wood fence is shown to enclose the yard at the rear of the house; per the
Onondaga County Department of Transportation, no access to Lakeshore Road shall be
permitted; and
- 5 the submitted Proposed Plan dated September 28, 2017 shows the proposed single-story
addition (14' x 32') to the existing attached garage will provide a third garage bay on the
southern side of the house; the addition will be situated with the eastern corner set back
22'-3 5/16" from Lakeshore Road and the western corner set back 25'-6 1/2" from
Lakeshore Road; and
- 6 per the Town of Cicero zoning ordinance, a minimum front yard setback of 30' is
required in a Residential (R-10) zoning district; as the proposed addition will have a
minimum setback of 22'-3 5/16" from the street line, an area variance is requested; and
- 7 the existing house is served by public drinking water and sewers and is located in the
Brewerton Wastewater Treatment Plant service area; no changes to the existing
infrastructure are proposed; and
- 8 the New York State Department of Environmental Conservation (NYS DEC)
Environmental Assessment Form (EAF) Mapper indicates that the project site or a
portion of it is located in or adjacent to an area designated as sensitive for archaeological
sites on the New York State Historic Preservation Office archaeological site inventory;
and
- 9 per the EAF Mapper, the site of the proposed action may contain a species of animal, or
associated habitats, listed by the state or federal government as threatened or endangered;
and



Z-17-400

Z-17-407

AREA VARIANCE

Chick-fil-A

at 7916 Brewerton Road

Town of Cicero

Received: 10/13/2017

Chick-fil-A

Tax Map # 043.-01-10.2

30-Day Deadline: 11/12/2017

1

General Municipal Law Section 239-m allows the County Planning Board to review the granting of use or area variances and the site is located within 500 feet of Brewerton Road (Route 11), a state highway; and

2

the applicant is requesting an area variance to construct a drive-thru canopy with a side yard setback of 13.2' (15.0' required) and a front yard setback of 45.4' (50.0' required) for a proposed restaurant (Chick-fil-A) on a 1.19-acre parcel in a General Commercial (GC) zoning district; and

3

the Board recently reviewed Site Plan (Z-17-107) and Subdivision (S-17-26) referrals for the proposed construction of a new 5,000 sf restaurant (Chick-fil-A) with drive-thru facility; the Board recommended Modification of both referrals, citing coordination with the New York State Department of Transportation on traffic data and lighting plans; both actions were ultimately approved by the Town of Cicero Planning Board; and

4

the site is situated along the frontage of US Route 11 and part of the Home Depot parking lot; surrounding land uses are primarily medium to large scale suburban retail along the corridor, with some remaining nearby residential neighborhoods, including one directly south of the site; and

5

the submitted Site Plan dated March 31, 2017 shows tax parcel 043.-01-10.2 is currently 2.03 acres and encompasses the frontage of the parking lot, south of the private drive for the Home Depot, which meets a signalized intersection at Route 11; the 2 acres would be split into Parcel 1 (1.19 acres) for the proposed restaurant and Parcel 2 (0.84 acres) to remain for future development; and

6

per the Site Plan, Proposed Parcel 1 contains a proposed 5,000 square foot single-story building with double drive thru lanes circling the building along the front and south side of the building; the primary entry would be on the north side of the building; patio seating is shown at the entry; the restaurant would include 120 indoor seats, 24 outdoor seats, and 29 car capacity in the drive thru lanes; and

7

the Site Plan indicates 55 parking spaces to the side and rear of the building are proposed for Parcel 1 and 17 spaces are proposed for Parcel 2 to be shared with Parcel 1; all site access would be via the existing private Home Depot driveway at the signalized intersection; no access is shown or shall be allowed directly onto Route 11; and

8

the Site Plan shows an area along the frontage of the parcels labeled as "20' wide easement to Onondaga County Water Authority"; and

9

the submitted Canopy Modification Plan dated September 20, 2017 shows the proposed canopy (28' x 44') situated at the southwestern corner of the building and set back 45.4' from Route 11 and 13.2' from the southern lot line; per the submitted Environmental Assessment Form (EAF) dated September 28, 2017, the proposed canopy will replace the two canopies that were originally approved and are shown in the Site Plan to be located over the menu boards and ordering stations along the drive-thru lanes; and

10

per the Town of Cicero zoning ordinance, a minimum front yard setback of 50' and a minimum side yard setback of 15' are required in a General Commercial (GC) zoning district; as the proposed drive-thru canopy will have a minimum setback of 45.4' from the street line and 13.2' from the southern lot line, area variances are requested; and

- 11 sidewalks are shown along the Route 11 frontage of Parcel 1, with a pedestrian connection from the road to the building near the drive thru entrance; bicycle racks are not indicated; no landscaping is shown on the submitted plan, and little pervious surface area is to occur; and
- 12 the site is served by public drinking water and wastewater and is located in the Oak Orchard Wastewater Treatment Plant and Davis Road Pump Station service areas; the Onondaga County Department of Water Environment Protection has determined that the submitted project is located in an area designated as flow constrained or impacted by excessive wet weather flow or is tributary to a Combined Sewer Overflow (CSO); and
- 13 per the New York State Department of Environmental Conservation (NYS DEC) EAF Mapper, the project is within 2,000 feet of a site in the New York State Department of Environmental Conservation (NYS DEC) Environmental Site Remediation database (V00150); and



Z-17-407

Z-17-408

AREA VARIANCE

Mitchell Moss / Sunoco Gas Station
at 7549 Oswego Road

Sunoco
Tax Map # 093.-04-07.0

Town of Clay

Received: 10/13/2017

30-Day Deadline: 11/12/2017

- 1 General Municipal Law Section 239-m allows the County Planning Board to review the
granting of use or area variances and the site is located within 500 feet of Oswego Road
(Route 57), a county highway; and
- 2 the applicant is requesting an area variance to install a temporary remediation system
trailer within the required 20-foot perimeter landscape strip on a 0.4598-acre parcel in a
Limited Use District for Gasoline Services (LuC-1) zoning district; and
- 3 the site is located at the intersection of Oswego Road, a county road, and Elm Crest Road,
a local road, in the Town of Clay; surrounding land uses include various roadside
commercial properties along Oswego Road and residential neighborhoods to the east and
west of those lots; and
- 4 the submitted Site Plan for ZBA Application dated October 11, 2017 shows the site
contains a Sunoco gas station with an existing one-story frame building (892 sf) set along
the rear lot line, two existing pump islands and a canopy in front of the building, and an
asphalt area covering a majority of the site with spaces lined for parking; access to the
site comes from three existing full access driveways, two on Oswego Road and one on
Elm Crest Road; and
- 5 the submitted Application for an Area Variance describes the proposed action as the
installation of a remediation system trailer that will be temporarily located on the site for
1 to 2 years; and
- 6 the submitted Environmental Assessment Form (EAF) dated October 11, 2017 states that
the groundwater under the site has been impacted by historic gasoline leaks and the
installation of the remediation system trailer is to allow for a New York State Department
of Environmental Conservation (NYS DEC) approved action to break down the residual
contaminants in the aquifer; and
- 7 the Site Plan for ZBA Application shows the proposed remediation system trailer will be
located on the northwestern side of the existing building and set 6.2' from the rear lot line
in an area that is currently grass; and
- 8 per the Town of Clay zoning ordinance, a 20-foot perimeter landscape strip is required in
the Limited Use District for Gasoline Services (LuC-1); an area variance is requested as
the proposed trailer will be within the perimeter landscape strip; and
- 9 the site is served by public drinking water and sewers and is located in the Wetzel Road
Wastewater Treatment Plant service area; no changes to the existing infrastructure are
proposed; and
- 10 the New York State Department of Environmental Conservation (NYS DEC)
Environmental Assessment Form (EAF) Mapper indicates that the site is located over, or
immediately adjoining, primary and principal aquifers; and
- 11 per the EAF Mapper, the site of the proposed action may contain a species of animal, or
associated habitats, listed by the state or federal government as threatened or endangered;
and
- 12 the EAF Mapper indicates that the project site or a portion of it is located in or adjacent
to an area designated as sensitive for archaeological sites on the New York State Historic
Preservation Office archaeological site inventory; and



Z-17-408

Z-17-411

SITE PLAN

McKesson Corporation

at 800 & 801 Van Rensselaer Street

Tax Map # 115.-03-07.1, 116.-01-09.0

City of Syracuse

Received: 10/16/2017

30-Day Deadline: 11/15/2017

1 General Municipal Law Section 239-m allows the County Planning Board to review
approval of site plans and the site is located within 500 feet of Bear Street (Route 298), a
state highway; and

2 the applicant is proposing to demolish a garage structure and decommission a water
treatment facility on two parcels totaling 8.548 acres in a T5-Lakefront zoning district;
and

3 the site is located just south of the Destiny USA mall at the intersection of Van
Rensselaer Street, a city street, and West Bear Street, a state road, in the Lakefront
neighborhood of the City of Syracuse; the site is southeast from several county-owned
parcels containing the Metropolitan Wastewater Treatment Plant and adjacent to vacant
industrial lands, the Onondaga Creekwalk, and the Inner Harbor; and

4 the City of Syracuse is currently undertaking a comprehensive project to revise and
modernize zoning in the City; according to the ReZone Syracuse draft zoning map dated
June 2017, the proposed zoning for the southerly lot is Mixed Used Office (MX-3),
which would act to “provide for pedestrian friendly areas of medium- to higher-density
residential development and compatible nonresidential uses, such as offices and
supporting secondary commercial uses” and the proposed zoning for the northerly lot is
Mixed Use Urban Core (MX-4), which would act to “provide for pedestrian-friendly
areas of higher-density residential development and a well-integrated mix of
nonresidential uses”; and

5 the submitted survey map dated August 3, 2011 shows the site consists of two tax parcels,
116.-01-09.0 to the north of Van Rensselaer Street and 115.-03-07.1 to the south; TM
#116.-01-09.0 is shown to contain an existing shed set back 35’ from the Van Rensselaer
Street frontage and an existing gravel driveway onto Van Rensselaer Street extending
along the side of the shed and ending at a gravel area at the rear of the shed; TM #115.-03-
07.1 is shown to contain an existing shed set back 150’ from the western lot line and an
existing gravel driveway onto Van Rensselaer Street that extends to the shed and aligns
with the gravel drive across Van Rensselaer Street on TM #116.-01-09.0; each parcel is
enclosed by a fence and contains various wells, piezometers, standpipes, piping, and
trenches associated with the water treatment facility on the site; and

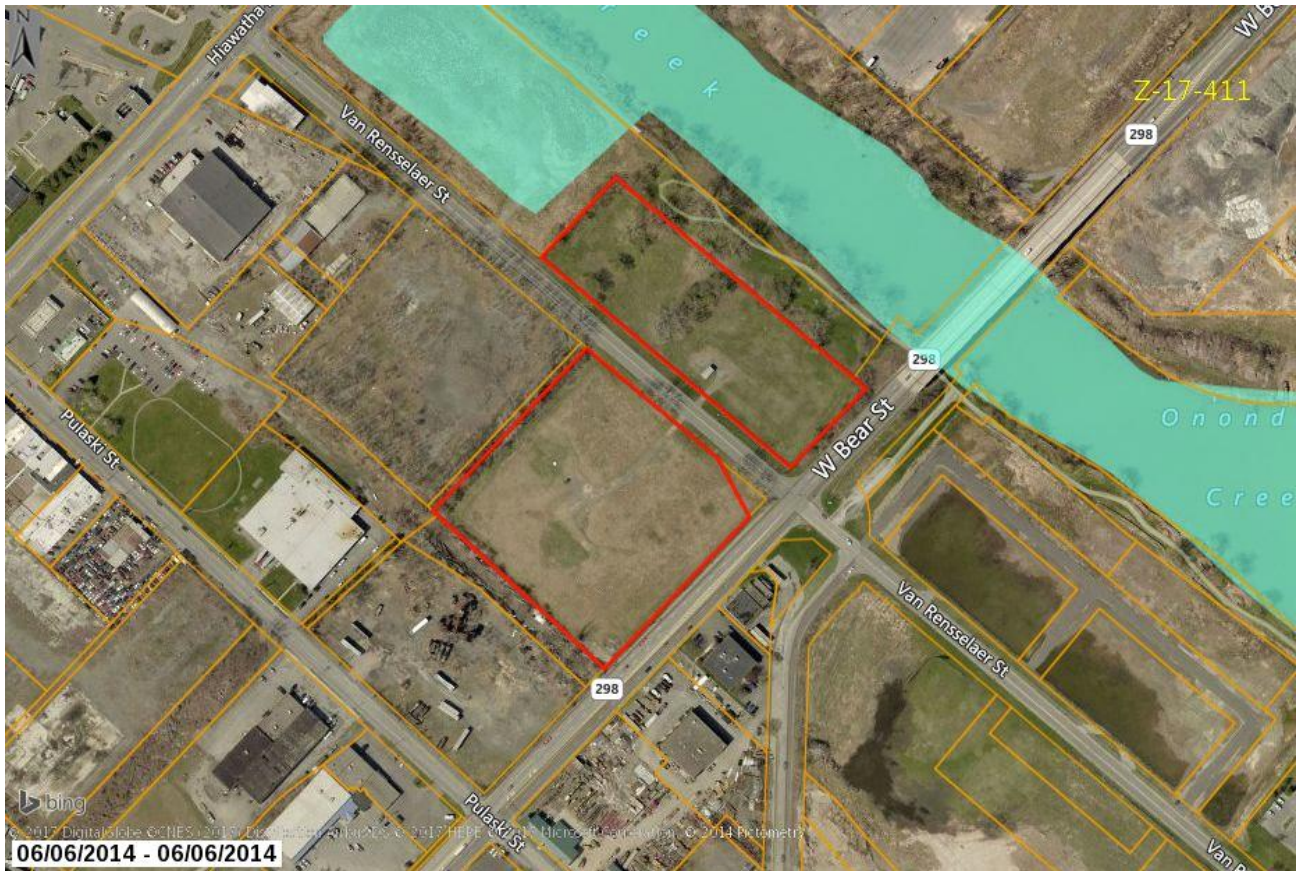
6 per the submitted Post Demolition and Decommissioning Site Plan (undated), the existing
building on TM #116.-01-09.0 will be demolished, leaving only the concrete pad, and all
other equipment associated with the water treatment facility will be decommissioned; per
the plan, both parcels of the site will be vacant following the proposed project; and

7 per the New York State Department of Transportation, any work within the state right-of-
way requires a work permit from the Department; and

8 the site has access to municipal drinking water and public sewers and is located in the
Metropolitan Wastewater Treatment Plant service area; no drinking water or wastewater
services are proposed for the site; and

9 per the New York State Department of Environmental Conservation (NYS DEC)
Environmental Assessment Form (EAF) Mapper, the site is listed in the NYS DEC
Environmental Site Remediation database (734020) as part of the State Superfund
Program with Classification of 4, indicating that the site has been properly closed but

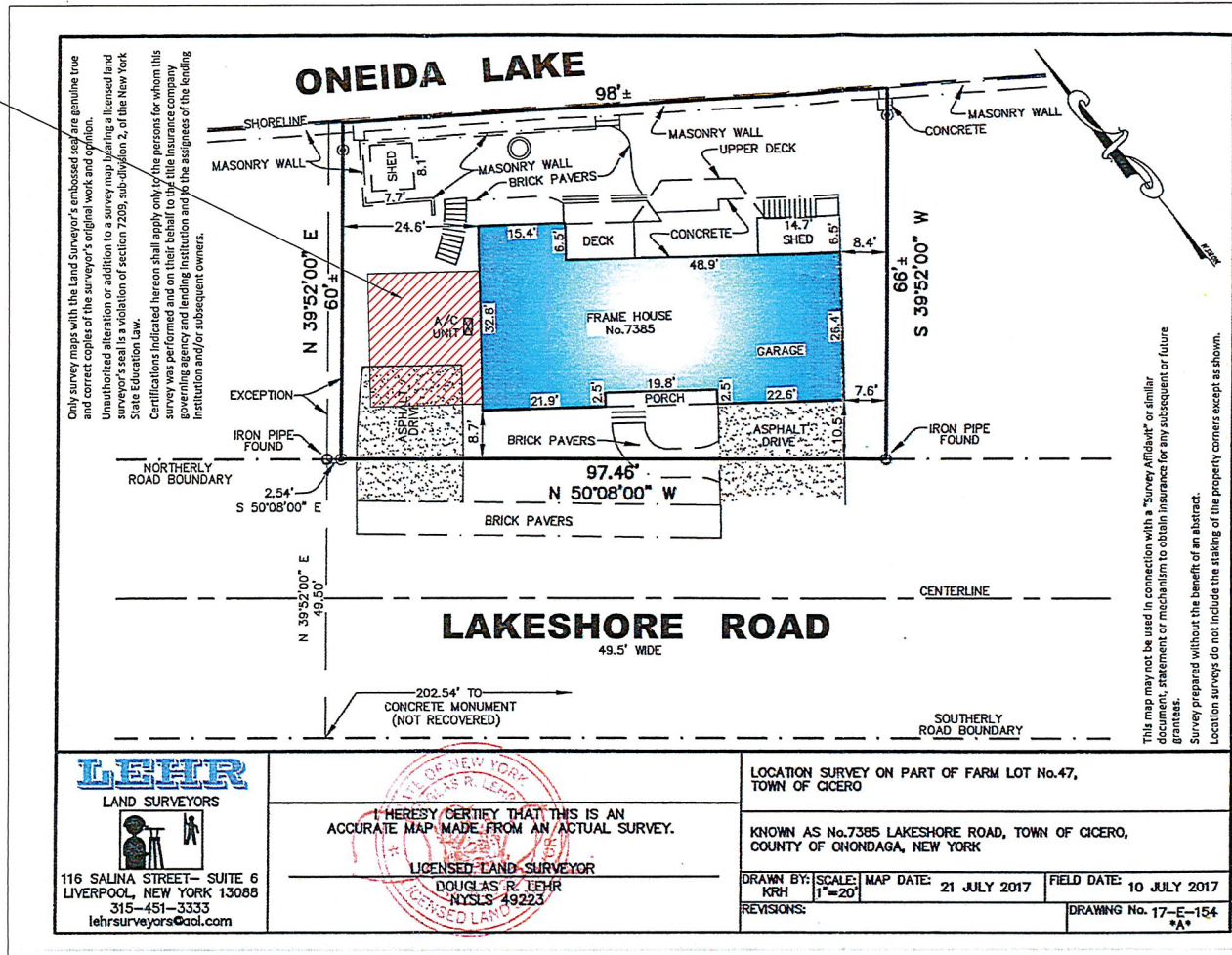
requires continued site management; formerly, the site was used for bulk storage of petroleum projects and later a variety of chemical waste streams; the project is also within 2,000 feet of other sites in the NYS DEC Environmental Site Remediation database (C734083, V00002, 734059, 734083, V00222, 734048, C734133, C734132, C734088A, C734130, C734134, C734135, C734136, C734137, C734104, C734131); and per the EAF Mapper, the site is substantially contiguous to the Enlarged Erie Barge Canal which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places; and per the EAF Mapper, the site is located over, or immediately adjoining, primary and principal aquifers; and the EAF Mapper indicates that the site of the proposed action may contain a species of animal, or associated habitats, listed by the state or federal government as threatened or endangered; and per the EAF Mapper, the project site or a portion of it is located in or adjacent to an area designated as sensitive for archaeological sites on the New York State Historic Preservation Office archaeological site inventory; and



Z-17-411

NOTE: PROPOSED BUILDING ADDITION OVERLAY UPON ORIGINAL SURVEY DOCUMENT. ORIGINAL SURVEY PLAT PROVIDED BY LEHR LAND SURVEYORS AS NOTED IN SCAN ABOVE SCALE DOUBLED FOR CLARITY

PROPOSED 20FT x
24FT ADDITION.
APPROXIMATELY
4.5'
-to-
5.15'
FROM EASTERLY
PROPERTY
BOUNDARY



ADAM J. DORN, P.E.
281 GRANNIS ROAD
CONSTANTIA, NY 13044
ADAMJDORN@GMAIL.COM
315-525-3806

PRELIMINARY SITE PLAN

DATE	REVISION/REVISION	No.

SUATONI RESIDENCE
7385 LAKESHORE RD
CICERO, NY
ONONDAGA COUNTY

Drawn By: A.J.D.	Checked By:	Scale: 1" = 10ft
Date: 08.28.2017	Drawing No. A-0	

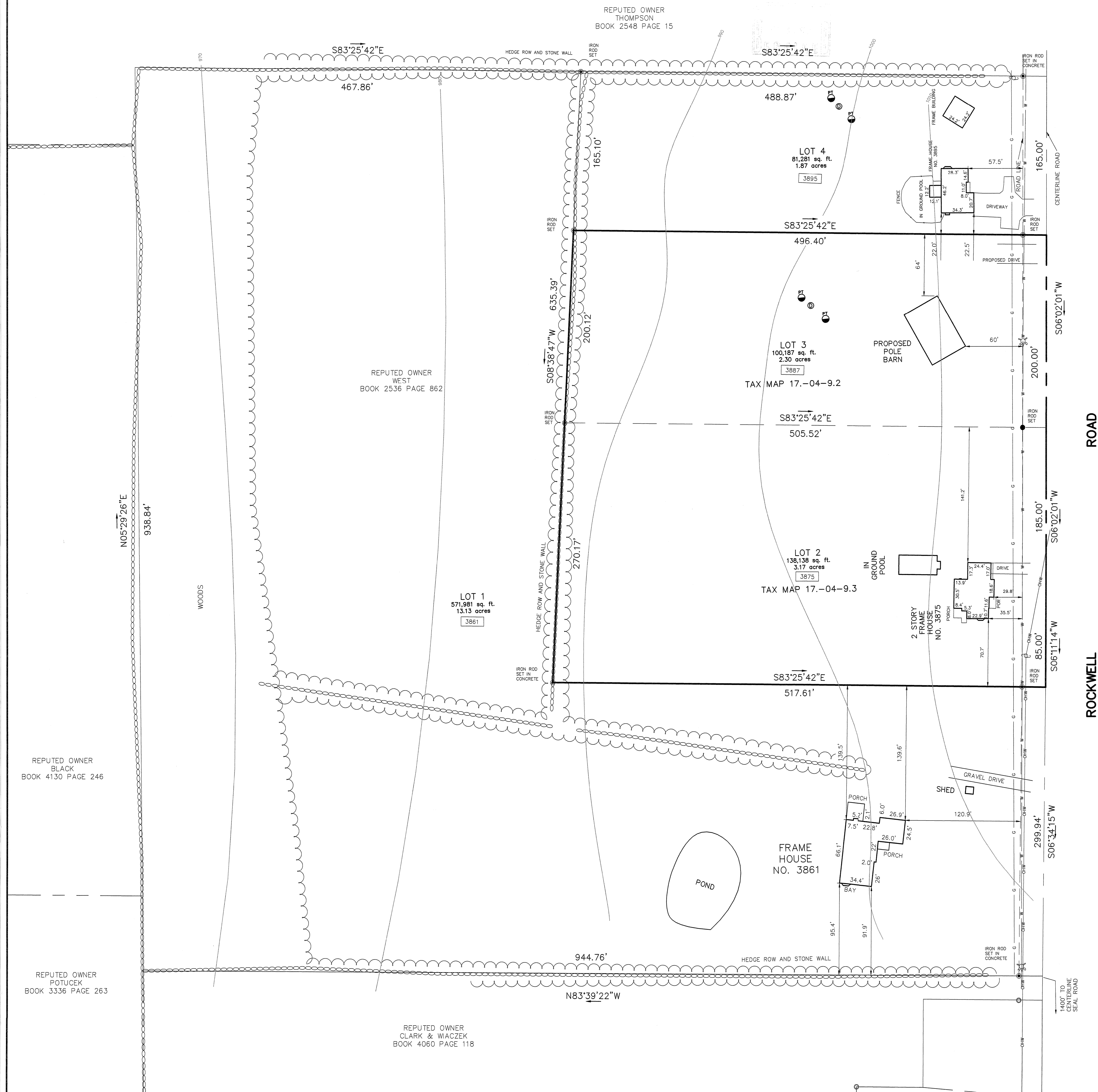
ENGINEER SEAL

2-17-404

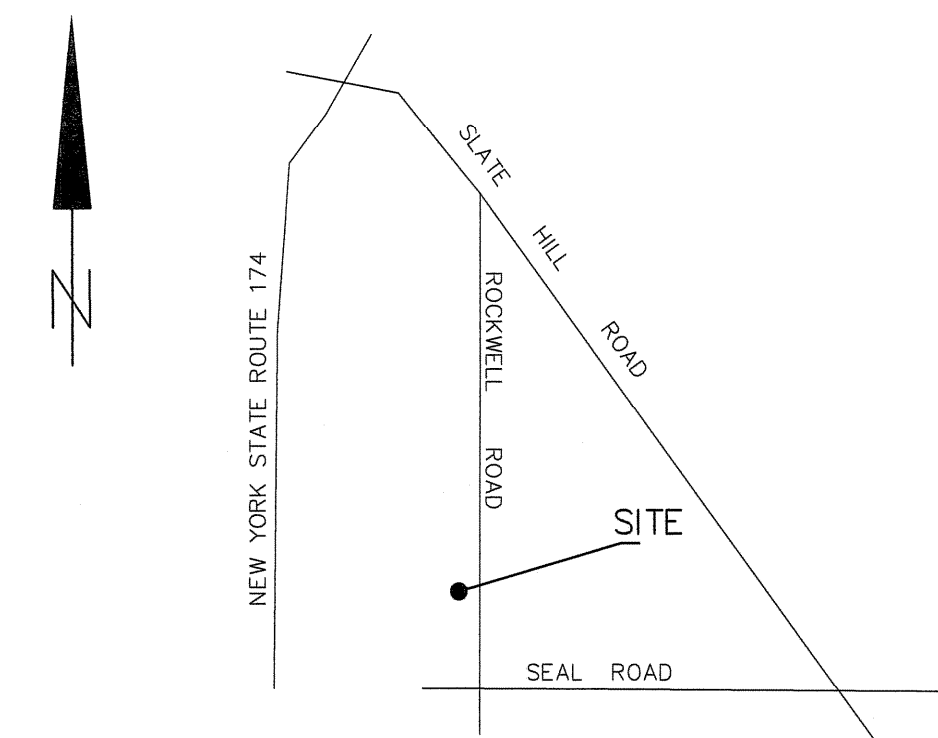
TOWN OF CICERO

SEP 12 2017







ZONING 3. PLANNING



LOCATION MAP



LEGEND

CONCRETE MONUMENT	
IRON PIPE	
IRON ROD	
DEEP TEST HOLE	
PERC TEST	
UTILITY POLE	
WATER LINE	W
GAS LINE	G
STORM DRAIN	ST
TELEPHONE LINE	T
CONTOUR LINE	875
OVER HEAD WIRE	OHW
ADDRESS	<div style="border: 1px solid black; padding: 2px; display: inline-block;">3861</div>

NOTES

- 1 TOTAL LOT AREA = 5.47 ± ACRES TO TO CENTERLINE OF ROAD
- 2 TOTAL NUMBER OF LOTS = 2
- 3 TOPOGRAPHY INTERPOLATED FROM A USGS QUAD SHEET.
- 4 CONTOUR INTERVAL = 10 FEET
- 5 ZONING AGRICULTURAL R-1
- 6 BUILDING SETBACKS

FRONT YARD - 35 FT
SIDE YARD - 15 FT
REAR YARD - 35 FT

7 DRIVEWAYS ARE AS APPROVED BY ONONDAGA COUNTY DEPARTMENT OF
TRANSPORTATION LETTER DATED OCTOBER 4, 2002.

8 PARTIAL RELEASE OF RECORDED COMMUNICATION LINE EASEMENT DATED NOVEMBER 25, 2002 BY VERIZON NEW YORK INC. (FORMERLY NEW YORK TELEPHONE) FILED IN THE ONONDAGA COUNTY CLERKS OFFICE IN BOOK OF DEEDS 4756 PAGE 927. INTENDED TO RELEASE PARTIALLY THE ORIGINAL EASEMENT FILED IN BOOK OF DEEDS 1877 PAGE 122.

NOTE: UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS UNKNOWN.

APPROVED TOWN OF MARCELLUS PLANNING BOARD

DATE: BY:

APPROVED ANDREA BUCCI (OWNER)

DATE: BY:

HEALTH DEPARTMENT APPROVAL

S-17-78

SURVEY SUBJECT TO ANY STATE OF FACTS AN
ACCURATE AND UP TO DATE ABSTRACT OF TITLE
WILL SHOW.

THE UNDERSIGNED SURVEYOR HEREBY CERTIFIES
THAT THIS IS AN ACCURATE MAP OF AN ACTUAL
SURVEY COMPLETED 10-17-2016

PAUL J. OLSZEWSKI, P.L.S. LICENSE No. 50212

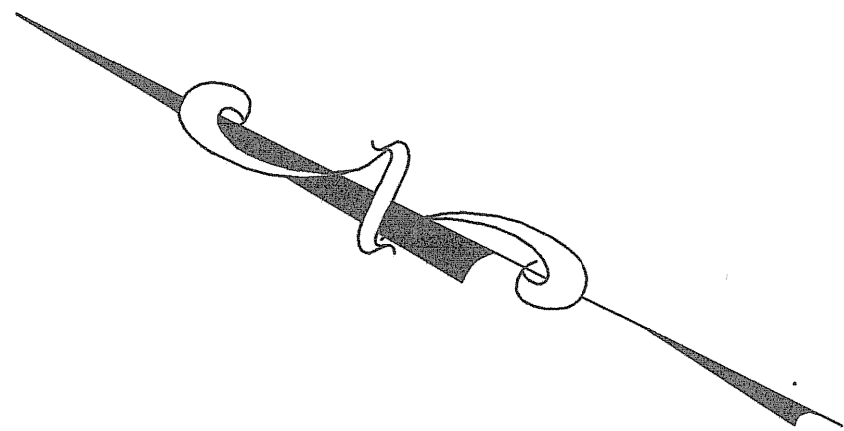
*UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

MERGE LOTS 2 AND 3
WEST SUBDIVISION

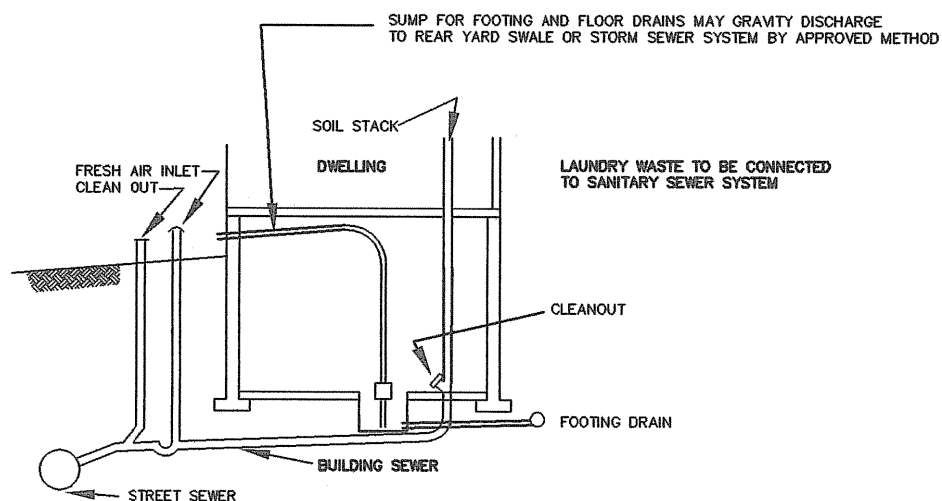
PART OF FARM LOT 32	TOWN OF MARCELLUS
COUNTY OF ONONDAGA	STATE OF NEW YORK

PAUL JAMES OLSZEWSKI P.L.S., PLLC
PO BOX 336
CAMILLUS NEW YORK
315-488-5552

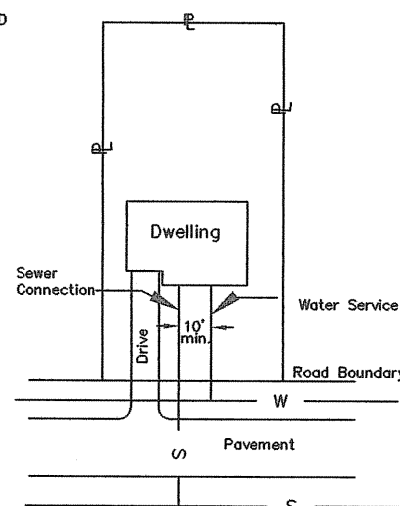
DATE: AUGUST 8, 2016 PROJECT No. MAR17-04-09 SCALE: 1" = 50 FEET



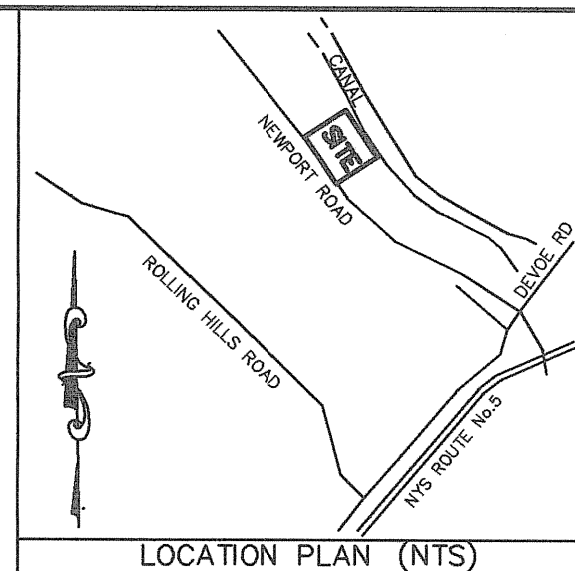
TOWN OF CAMILLUS
R/O
FORMER ERIE CANAL



HOUSE PLUMBING, DRAIN & SEWER CONNECTION
NOT TO SCALE



TYPICAL LOT PLAN
NTS



LOCATION PLAN (NTS)

LOT 1A

LOT 2A
RESUBDIVISION OF LOT Nos. 1 & 2
NEWPORT MEADOWS
SECTION 2
FILED MAP No.10839

LOT 2A-1

4.56 ACRES

LOT 1

NEWPORT MEADOWS
FILED MAP No.9648

40' BUILDING LINE

N26°27'57"W
179.95'

S22°21'17"E
578.00'

50' BUFFER

50' BUFFER
SEASONAL STREAM OR DRAINAGE DITCH

UTILITY LINE OVERHEAD WIRES

LOT 3A

NEWPORT MEADOWS
SECTION 2 AMENDED
FILED MAP No.10106

LOT 2A-2

3.22 ACRES

BARN

BARN

LOT 2

NEWPORT MEADOWS
FILED MAP No.9648

N15°29'17"W
353.37'

HOUSE
No. 5936

40' STRIP DEDICATED TO
ONONDAGA COUNTY FOR
HIGHWAY PURPOSES

25' SANITARY SEWER
BASEMENT

GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.

APPROVED:

RICHARD BABCOCK (DEVELOPER)
5936 NEWPORT ROAD
CAMILLUS, NEW YORK 13031

APPROVED:

TOWN OF CAMILLUS
(PLANNING BOARD CHAIR)

GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.

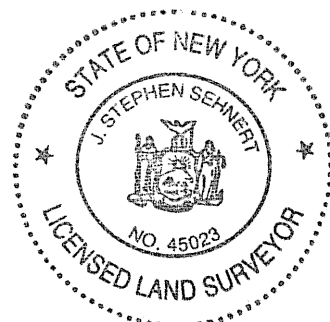
THE UNDERSIGNED SURVEYOR HEREBY CERTIFIES THAT THIS MAP IS
MADE FROM AN ACTUAL SURVEY OF THE PROPERTY SHOWN HEREON
COMPLETED AUGUST 29, 2017

J. Stephen Sehnert

J. STEPHEN SEHNERT
LAND SURVEYOR

No. 45023

ALTERATIONS OR ADDITIONS TO THIS SURVEY MAP ARE PROHIBITED,
EXCEPT AS PROVIDED IN SECTION 7209, SUBDIVISION 2, OF THE
NEW YORK STATE EDUCATION LAW.



APPLIED EARTH TECHNOLOGIES

STEPHEN SEHNERT
LAND SURVEYOR
BALDWINVILLE, NEW YORK

© ALL RIGHTS RESERVED 2017

5-17-86

PRELIMINARY PLAN
RESUBDIVISION OF LOT 2A
OF THE RESUBDIVISION OF LOT Nos. 1 & 2
NEWPORT MEADOWS
SECTION No. 2

LOT 79
TOWN OF CAMILLUS ONONDAGA COUNTY, NY

AUGUST 31, 2017

REV.: SEPTEMBER 19, 2017

2320.9 P1

GENERAL NOTES:

1. ALL SHOTS ARE POINT OF ENTRY GROUND SURFACE.
2. LANDS ARE SUBJECT TO ALL EASEMENTS, RESERVATIONS, RESTRICTIONS AND COVENANTS OF RECORD.
3. ALL IMPROVEMENTS MAY OR MAY NOT BE SHOWN.
4. THE LOCATION OF UNDERGROUND IMPROVEMENTS ARE UNKNOWN.
5. ADJACENT / ADJOINING BOUNDARY LINES ARE APPROXIMATE
6. CONTOURS SHOWN ARE EXISTING .

LEGEND:

1. 1% ANNUAL CHANCE FLOOD PLAIN BOUNDARY.
2. ADJACENT BOUNDARY LINE.
3. OHE INDICATES OVERHEAD ELECTRIC LINE.
4. 31 FARM LOT NUMBER TOWN OF MARCELLUS.
5. INDICATES UTILITY POLE.
6. FOUND MONUMENTS / BOUNDARY MARKERS.
7. (D) INDICATES DEED REFERENCE.
8. (M) INDICATES MAP REFERENCE.
9. 2' CONTOUR INTERVAL LINE.
10. HYDRANT.
11. TEL INDICATES OVERHEAD COMMUNICATION LINE.
12. LIMITS OF FEDERAL WETLAND.

REFERENCE MAPS:

- M1 Map of Lot 3082 "STOPYRO WEST"
by Christopherson Land Suveying dated
August 8, 2005.
- M2 Map of Lot 3080
by Christopherson Land Suveying dated
August 8, 2005.
- M3 Map of Stopyro West Tract, Final Subdivision
Plan by Paul Hood, LS dated March 31, 1994
and filed as Map # 7968 in the Onondaga
County Clerk's Office.

TITLE DEED:

D1 5118 / 267

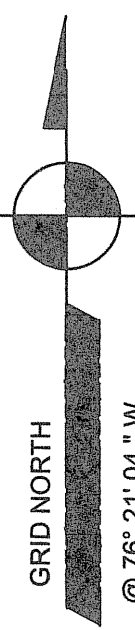
TAX I.D.:

017. - 07 - 01.4

COPY

Schenkenberger, Thomas J.
Lisandrelli, Deborah
Mullahy, Patrick J.
Ref. 5085 / 579

017.-7-1.2



S & B Millwork, LLC
Ref. 5021 / 528

017.-7-1.3

31

Military Lot Line (Ref: M3, D1)

40

POINT OF BEGINNING (POB)
Reference D1

31

Military Lot Line (Ref: M3, D1)

40

PROPOSED:

50' X 80' Steel Storage Facility
Laminated Columns with Stone Floor
Maximum Height 30'
FINISHED GRADE ±722

Parking and Storage Area
± 20,000 sq. ft.

Overhead Door

Pedestrian Door

Pedestrian Door

Proposed Stone Drive
12' min. width

John
Argese
Ref. 4911 / 13

017.-7-6.1

Existing

42' X 64' Storage Facility

Site Plan
Lands of:

John Argese

Part of Military Lots 31 and 40
Town of Marcellus
County of Onondaga
State of New York

Map represents those lands deeded John Argese
by Patrick J. Mullahy by Deed dated March 4, 2010 and
recorded in the Onondaga County Clerk's Office in
Book 5118 of Deeds at page 267.

DATE: SEPTEMBER 17, 2017

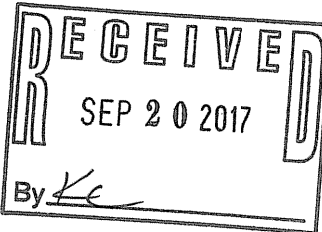
FILE: MARCELLUS017714

ACAD: ARGESE

SCALE: 1" = 30'

Survey and Site Plan By:

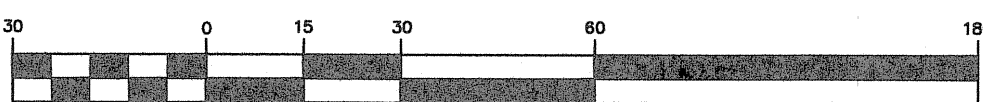
DAVID W. BUSH P.E. & L.S., P.L.L.C.



SITE NOTES:

1. ZONING: LIGHT INDUSTRIAL
2. FEMA DATA: PANEL 36067C0305F DATED NOVEMBER 4, 2016
ZONE A NO BASE FLOOD ELEVATIONS
DETERMINED.
3. VEGETATION: NO SITE CLEARING REQUIRED.
ALL MATURE GROWTH TO REMAIN. ISLAND
OF MIXED SPECIES TO REMAIN.
4. NO ONSITE WASTE DISPOSAL SYSTEM PROPOSED AT THIS TIME.
5. PUBLIC WATER AVAILABLE. NO WATER SUPPLY PLANNED.
6. SITE SUBSURFACE DRAINAGE CAPABILITY EXCELLENT.
7. NO STATE WETLANDS.
8. FEDERAL WETLANDS AS SHOWN.

GRAPHIC SCALE



(IN FEET)

1 inch = 30 ft.

ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S
EMBOSSED SEAL ARE GENUINE TRUE AND CORRECT COPIES
OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP
BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION
OF SECTION 7209, SUB - DIVISION 2 OF THE N.Y.S. EDUCATION LAW.

COPY

2-17-391

2-17-395

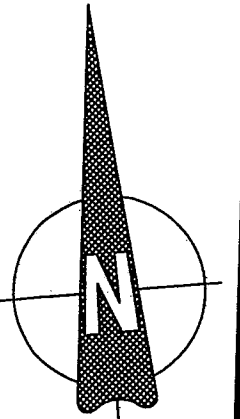
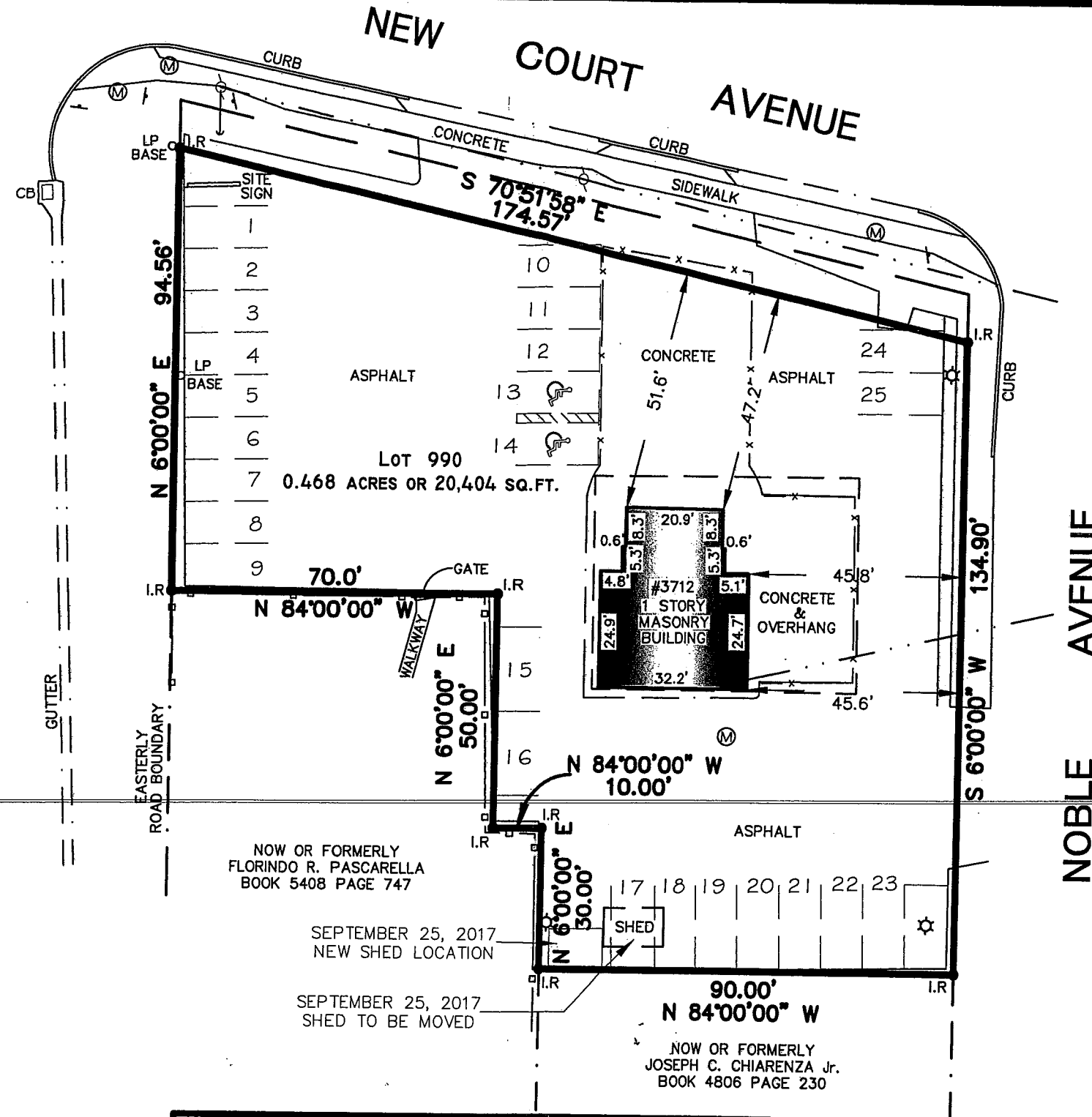
LEGEND:

- CB - CATCH BASIN
- - UTILITY POLE
- - GUY WIRE
- Ⓜ - MANHOLE
- ☆ - LIGHT POLE
- ⌵ - SIGN
- x- - RAIL FENCE
- - STOCKADE FENCE
- .-.- - OVERHEAD WIRES

SEPTEMBER 25, 2017

TOTAL OF 25 PROPOSED 9 FOOT BY 18 FOOT PARKING SPACES, INCLUDING 2 HANDICAPPED SPACES.

GAYNOR AVENUE



Only survey maps with the Land Surveyor's embossed seal are genuine true and correct copies of the surveyor's original work and opinion.

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.

Certifications indicated hereon shall apply only to the persons for whom this survey was performed and on their behalf to the title insurance company governing agency and lending institution and to the assignees of the lending institution and/or subsequent owners.

This map may not be used in connection with a "Survey Affidavit" or similar document, statement or mechanism to obtain insurance for any subsequent or future grantees.

Survey prepared without the benefit of an abstract.

Location surveys do not include the staking of the property corners except as shown.

LEHR
LAND SURVEYORS



116 SALINA STREET - SUITE 6
LIVERPOOL, NEW YORK 13088
315-451-3333
lehrsurveyors@aol.com

I HEREBY CERTIFY THAT THIS IS AN
ACCURATE MAP MADE FROM AN ACTUAL SURVEY.

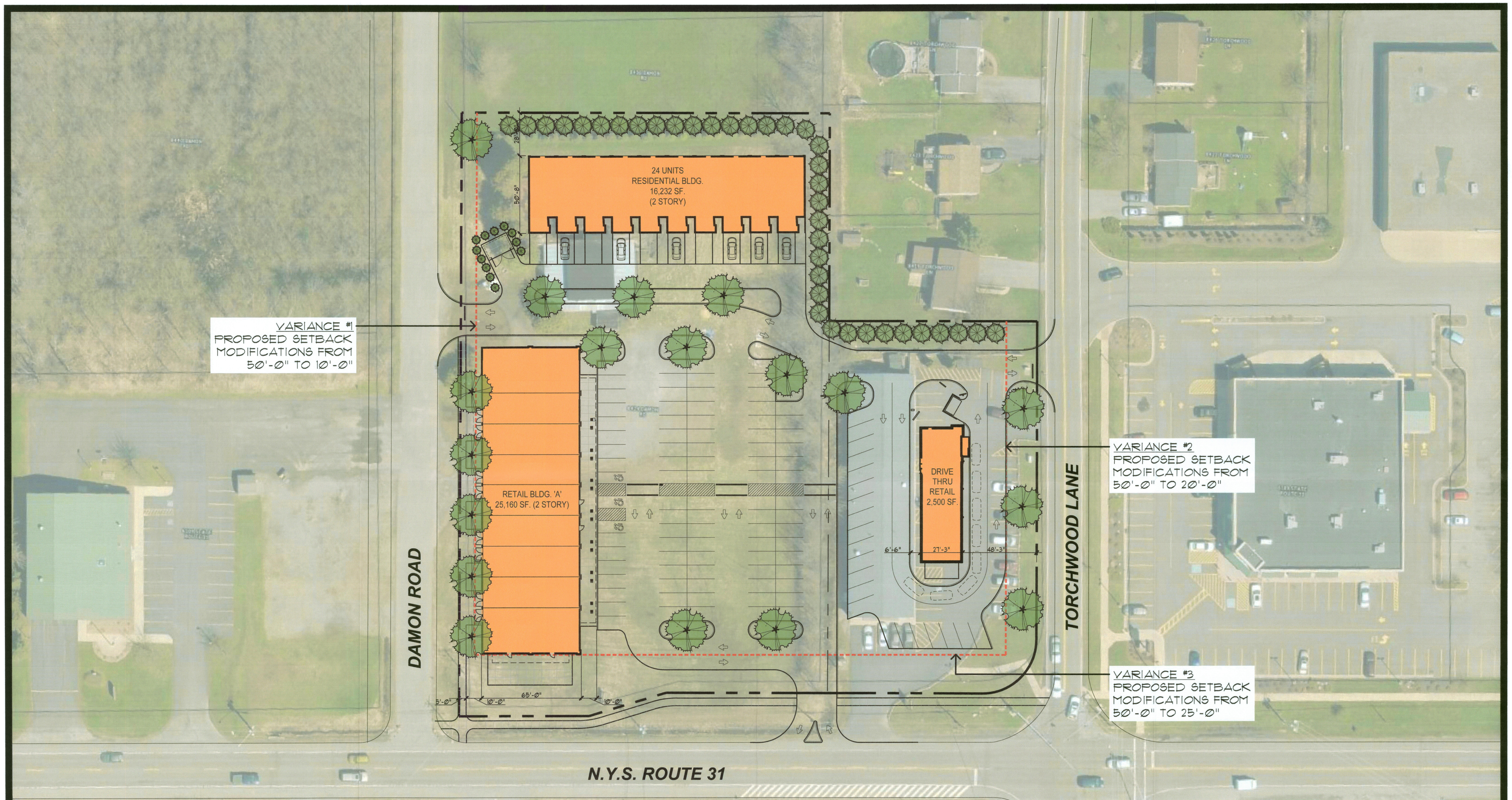
WILLIAM J. HADCOCK, No. 050817, NYSLS 050817

LOCATION SURVEY ON LOT #990 OF THE LUONGO SUBDIVISION,
MAP # 9267

KNOWN AS No. 3712 NEW COURT AVENUE, TOWN OF SALINA,
COUNTY OF ONONDAGA, NEW YORK 13206

FIELD DATE: 29 AUG 2017 MAP DATE: 31 AUG 2017 SCALE: 1"=30' DRAWN BY: WJH

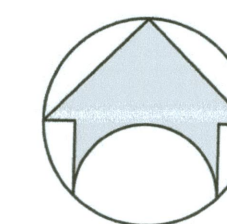
REVISIONS: DRAWING No. 17-H-57
B



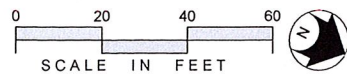
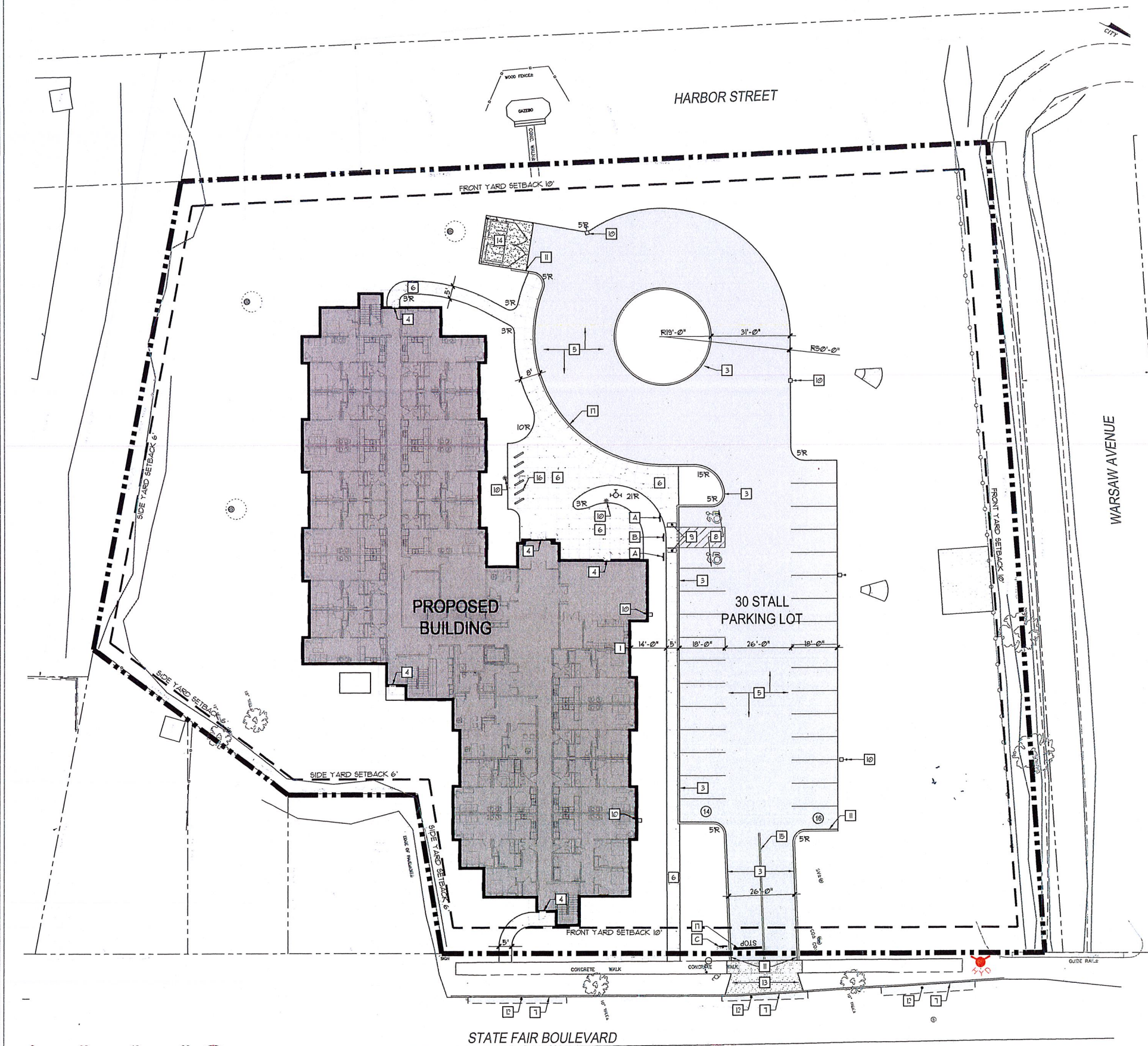
CICERO COMMERCIAL DEVELOPMENT ROUTE 31 & TORCHWOOD LANE CICERO, NY CONCEPTUAL PLAN




October 2, 2017

0 30 60 90
SCALE IN FEET



**KEPLINGER
FREEMAN
ASSOCIATES**
LANDSCAPE ARCHITECTURE & LAND PLANNING
6320 FLY ROAD EAST SYRACUSE, NEW YORK 13057
PHONE: (315) 445-7980 FAX: (315) 445-7981



SIGN SCHEDULE			
KEY	SIGN PLATE	SIGN SIZE MOUNTING HT.	NYSDOT MUTCD NO. / COMMENTS
A	 RESERVED PARKING W/ ACCESSIBLE SYMBOL	12" X 18" 7'-0" HT.	SIGN NO. P4-6 COLORS: WHITE BACKGROUND, BLUE ICON, GREEN TEXT/ BORDER COMMENTS:
B	 NO PARKING ANY TIME	12" X 18" 7'-0" HT.	SIGN NO. - COLORS: WHITE BACKGROUND, RED TEXT AND BORDER
C	 STOP SIGN	30" X 30" 7'-0" HT.	SIGN NO. R1-1 COLORS: COMMENTS:
NOTES: REFER TO TRAFFIC CONTROL SIGN DETAIL FOR INSTALLATION. 2. ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT NYSDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.			

- LAYOUT NOTES**
- P.O.B #1 - BUILDING LAYOUT BASELINE, DIMENSIONS ARE PARALLEL AND PERPENDICULAR TO THE BUILDING.
 - PAINT 4-INCH WIDE WHITE PARKING STALL PAINT LINES - TYPICAL.
 - INSTALL CONCRETE CURB - INTEGRAL PER DETAIL 3/L6.1.
 - CONCRETE DOUELING @ DOORWAY PER DETAIL 10/L6.1.
 - INSTALL ASPHALT PAVEMENT - PARKING PER DETAIL 1/L6.1.
 - INSTALL CONCRETE PAVEMENT PER DETAIL 5/L6.1.
 - INSTALL CITY OF SYRACUSE REPLACEMENT GRANITE CURB PER DETAIL 12/L6.1.
 - RESERVED PARKING STALL MARKING PER DETAIL 15/L6.1.
 - INSTALL CURB RAMP - TYPE 2 PER DETAIL 8/L6.1.
 - LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY, REFER TO ELECTRICAL DRAWINGS.
 - CURB ENDING/TAPER PER DETAIL 11/L6.1.
 - INSTALL ASPHALT PAVEMENT REPAIR PER CITY OF SYRACUSE STANDARDS PER DETAIL 2/L6.1.
 - INSTALL CITY OF SYRACUSE TWO-FOUR CONCRETE PAVEMENT PER DETAIL 9/L6.1.
 - INSTALL WASTE/RECYCLING ENCLOSURE PER DETAIL.
 - PAINT 4" WIDE DOUBLE SOLID YELLOW LINES.
 - PROVIDE FOUR (6) SURFACE MOUNTED DOWNTOWN BICYCLE RACKS, AS MANUFACTURED BY DERO (1-888-337-6793). COLOR: BLACK. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - 1" WIDE PAINTED WHITE STOP BAR WITH 2' HT. "STOP" TEXT.

RESERVED FOR QUALITY ASSURANCE AGENCY STAMP OF APPROVAL.



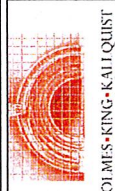
Revision Schedule			
No.	Date	By	Description

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT, AND SHALL BE USED ONLY ON THE JOB DESIGNATED COPYRIGHT ©
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES

JOB NO:	36109
DATE:	10/05/2017
DRAWN BY:	MDL
CHECK BY:	EGK
SCALE:	AS SHOWN

STATE FAIR BOULEVARD HOUSING
STATE FAIR BOULEVARD, SYRACUSE, NEW YORK

HOLMES • KING • KALLQUIST
& Associates, Architects - LLP
575 North Salina Street • Syracuse • New York, 13208
Phone : (315) 476-8371 Fax : (315) 476-5420
www.hkarchitects.com

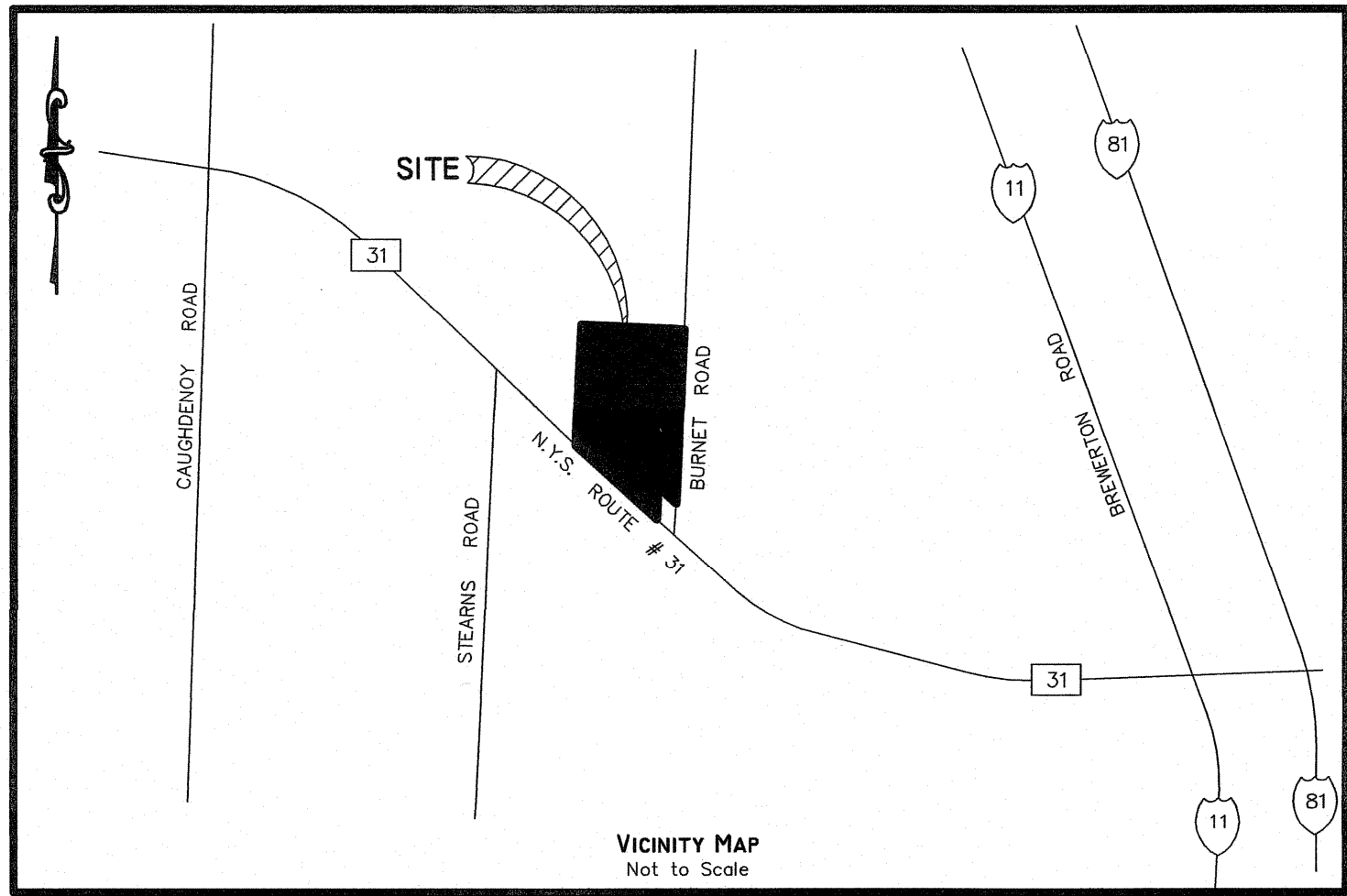


1101 MES • KING • KALLQUIST
& Associates, Architects

SITE LAYOUT
PLAN

L3.1

2-17-410



Notes:

Only survey maps with the Land Surveyor's embossed seal are genuine true and correct copies of the surveyor's original work and opinion.

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law. Certifications indicated hereon shall apply only to the persons for whom this survey was performed and on their behalf to the title insurance company governing agency and lending institution and to the assignees of the lending institution and/or subsequent owners.

This map may not be used in connection with a "Survey Affidavit" or similar document, statement or mechanism to obtain insurance for any subsequent or future grantees. Survey prepared without the benefit of an abstract.

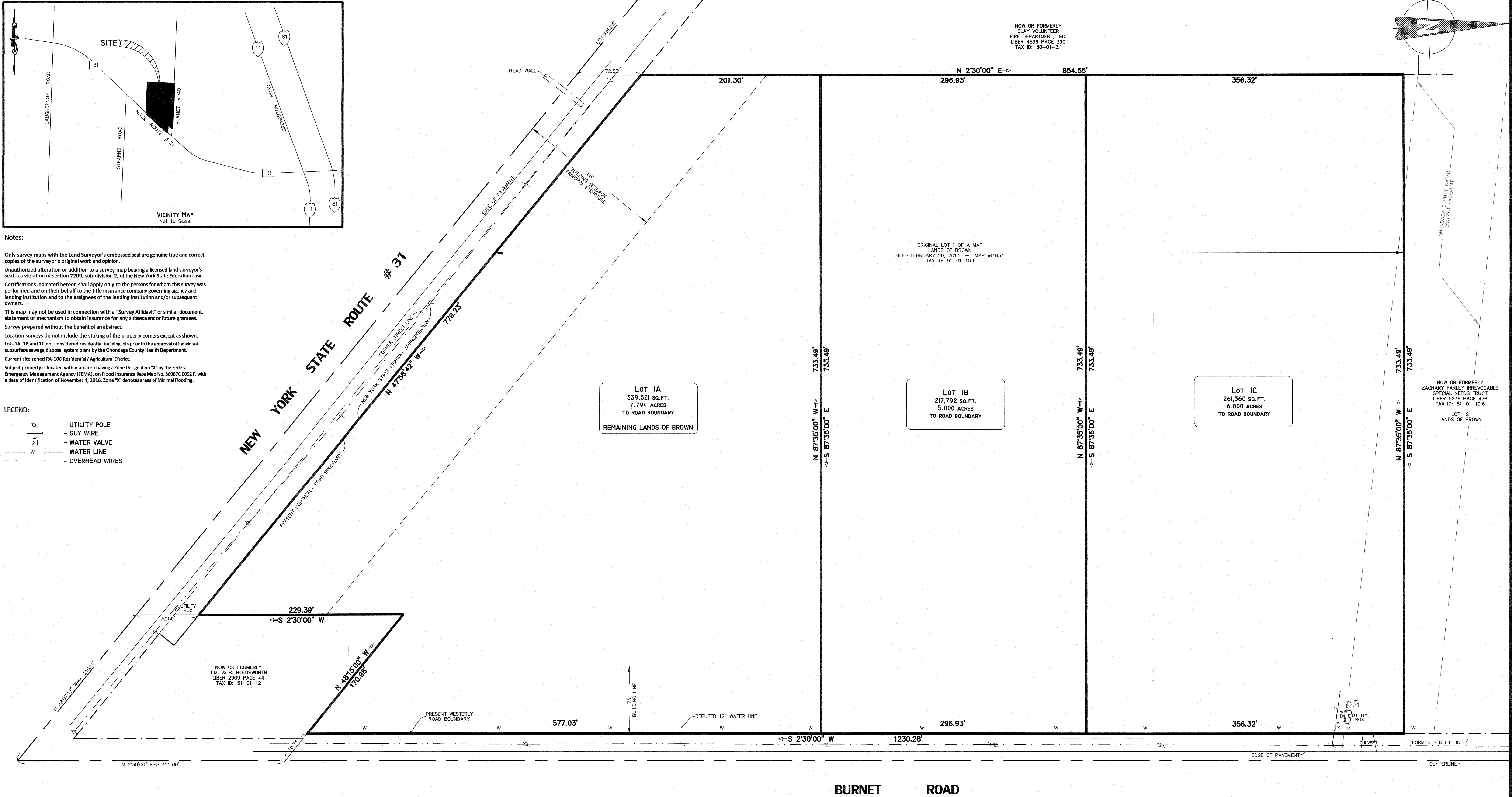
Location surveys do not include the staking of the property corners except as shown.

Lots 1A, 1B and 1C not considered residential building lots prior to the approval of individual subsurface sewage disposal system plans by the Onondaga County Health Department.

Current site zoned RA-100 Residential / Agricultural District.

Subject property is located within an area having a Zone Designation "X" by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 36067C 0092 F, with a date of identification of November 4, 2016, Zone "X" denotes areas of Minimal Flooding.

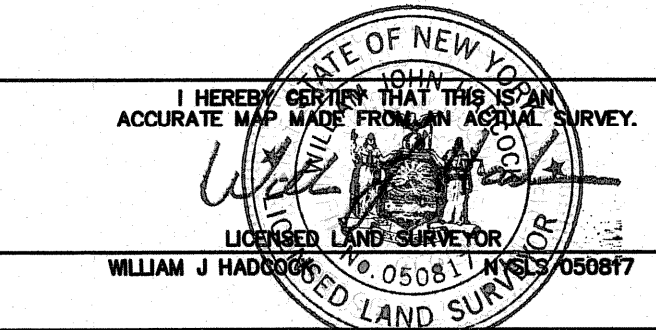
- LEGEND:
- UTILITY POLE
 - GUY WIRE
 - WATER VALVE
 - WATER LINE
 - OVERHEAD WIRES



APPROVALS

S-17-81

No.	DATE	DESCRIPTION	BY



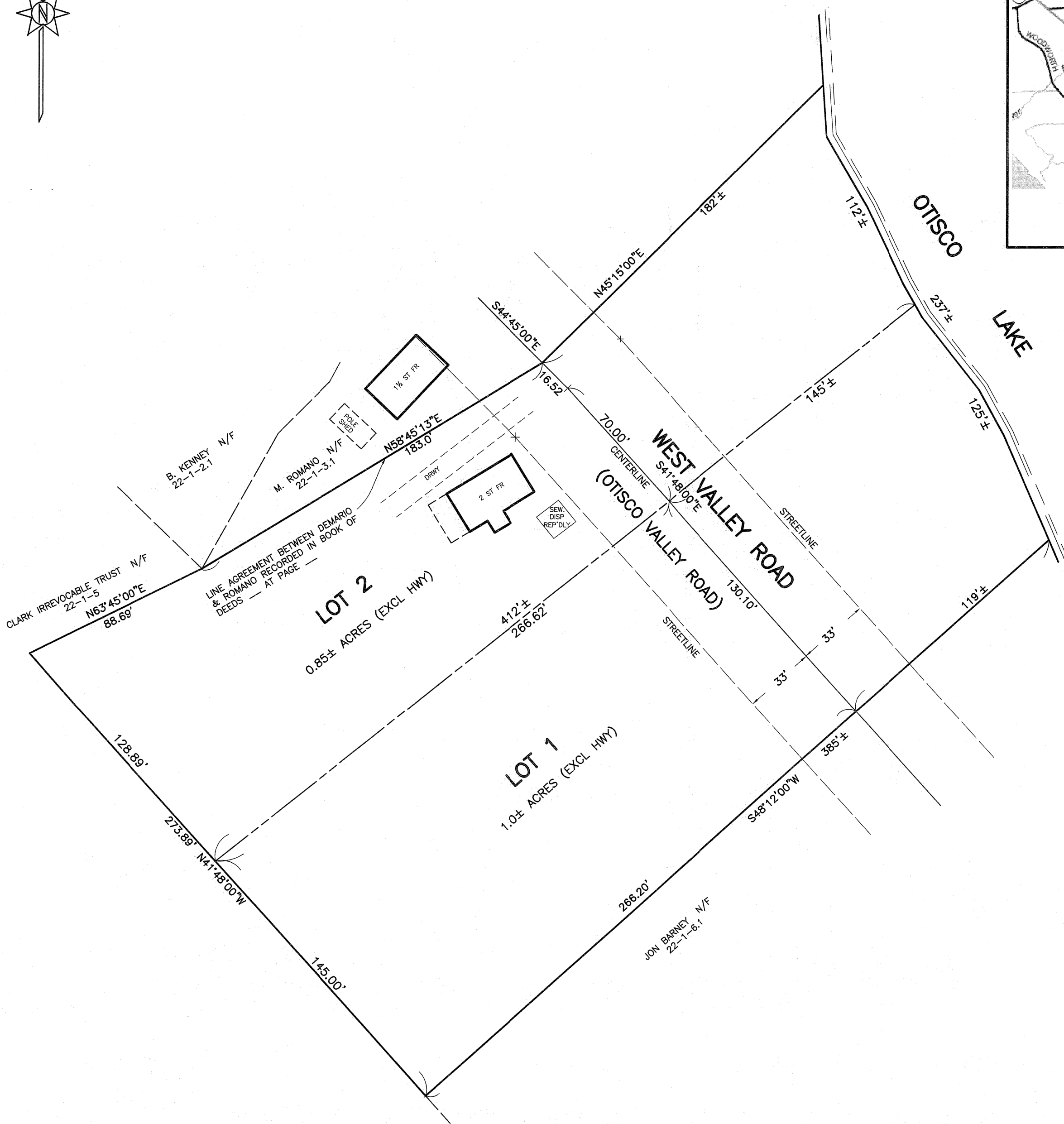
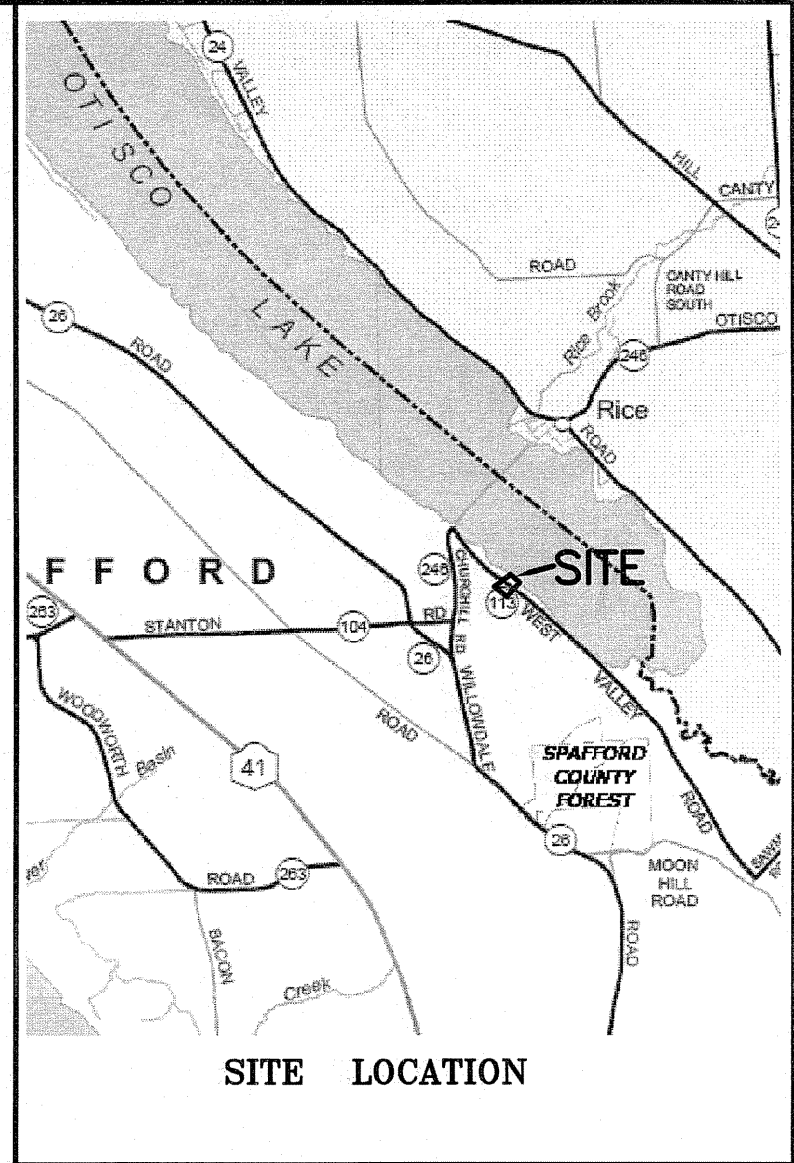
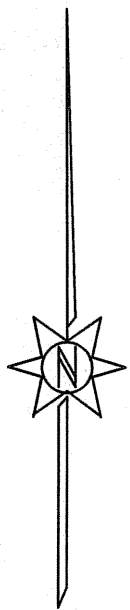
RESUBDIVISION SURVEY ON PART OF MILITARY LOT No.40, TOWN OF CLAY, ALSO BEING LOT 1 OF A MAP OF LANDS OF BROWN, FILED FEBRUARY 20, 2013, MAP #11654, INTO LOTS 1A, 1B AND 1C

KNOWN AS No. BURNET ROAD, TOWN OF CLAY, COUNTY OF ONONDAGA, NEW YORK 13041

FIELD DATE: 25 AUG 2017 MAP DATE: 5 SEPT 2017 SCALE: DRAWN BY: 1"=50' WJH

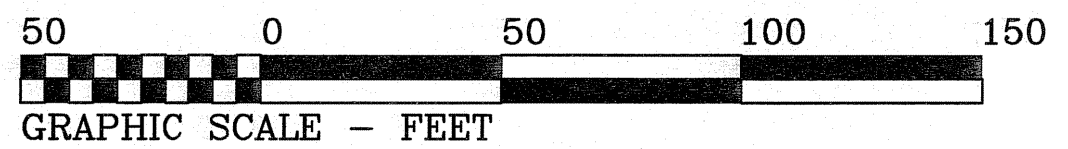
REVISIONS: DRAWING No. 17-C-56

LANDS OF BROWN
PHASE II



I HEREBY APPROVE THIS TRACT MAP.

MICHAEL ROMANO, OWNER
309 SYCAMORE ST.
LIVERPOOL, NY 13088



G0XXXXX001 ROMANO SUBD SPA1 (MOONHILL) [R.22-1-5] ©20170901SUB.dwg

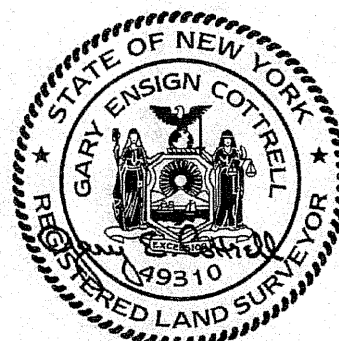
- FINAL PLAN -

**ROMANO SUBDIVISION
PART OF LOT 1 - TOWN OF SPAFFORD
ONONDAGA COUNTY, N. Y.**

I.D: 22-1-4.1		FILE: ROLL 22-1-5	
DATE: 09-01-2017		SCALE: 1" = 40'	B/P: 386/25
REVISIONS			

COTTRELL LAND SURVEYORS, P.C.
7308 JAMESVILLE ROAD
MANLIUS, N.Y. 13104 PHONE (315) 682-8121

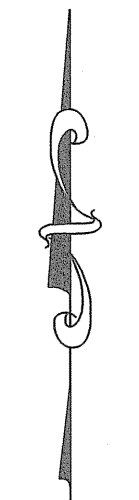
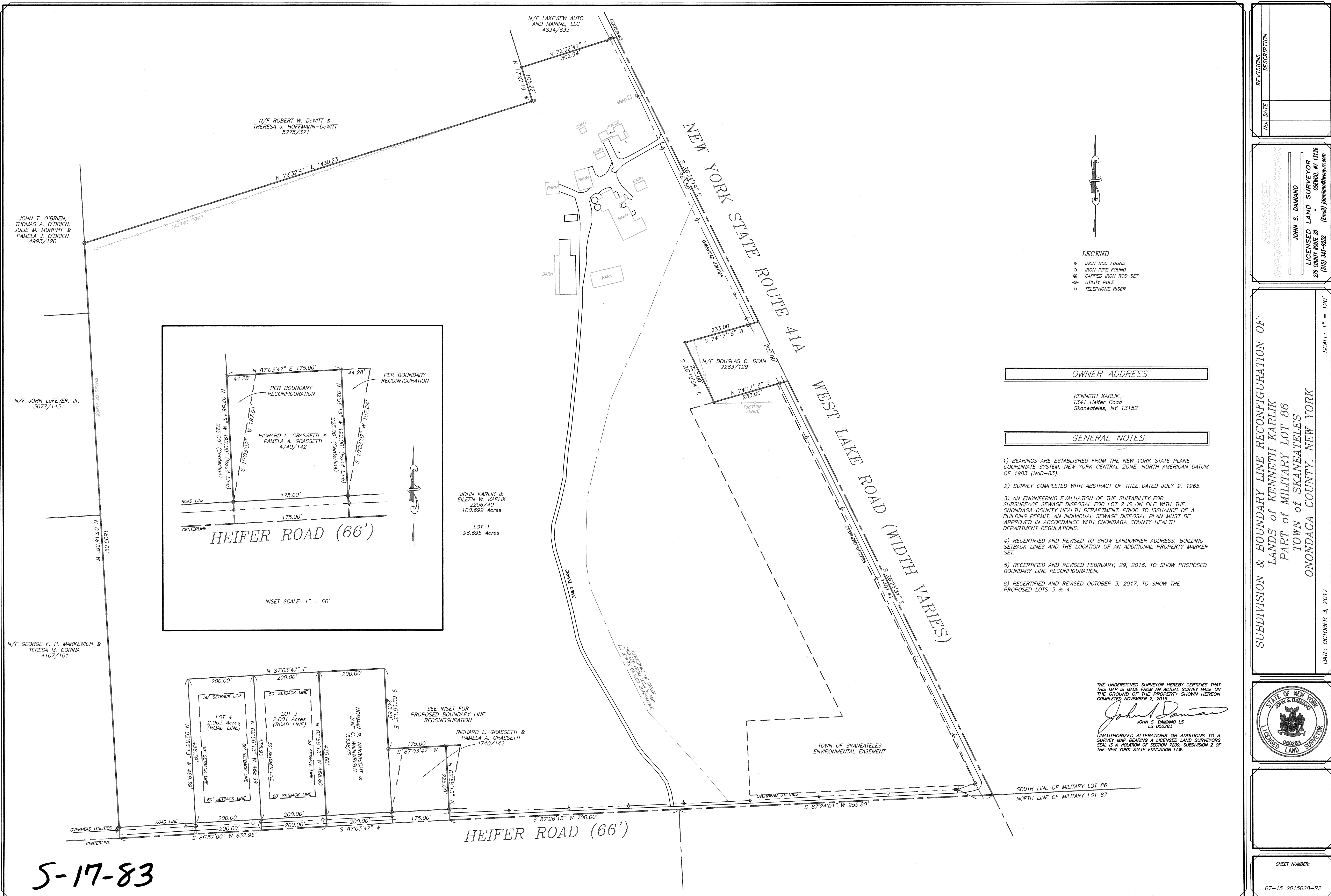
THE UNDERSIGNED CERTIFIES THAT
THIS MAP WAS MADE FROM AN
ACTUAL SURVEY ON 11-07-2006
VOID WITHOUT SIGNER'S EMBOSSED SEAL.



COUNTY HEALTH DEPARTMENT APPROVAL

MUNICIPAL APPROVAL

S-17-82



LEGEND

- IRON ROD FOUND
- IRON PIPE FOUND
- ⊙ CAPPED IRON ROD SET
- UTILITY POLE
- TELEPHONE RISER

OWNER ADDRESS

KENNETH KARLIK
1341 Heifer Road
Skaneateles, NY 13152

GENERAL NOTES

- 1) BEARINGS ARE ESTABLISHED FROM THE NEW YORK STATE PLANE COORDINATE SYSTEM, NEW YORK CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 (NAD-83).
- 2) SURVEY COMPLETED WITH ABSTRACT OF TITLE DATED JULY 9, 1965.
- 3) AN ENGINEERING EVALUATION OF THE SUITABILITY FOR SUBSURFACE SEWAGE DISPOSAL FOR LOT 2 IS ON FILE WITH THE ONONDAGA COUNTY HEALTH DEPARTMENT. PRIOR TO ISSUANCE OF A BUILDING PERMIT, AN INDIVIDUAL SEWAGE DISPOSAL PLAN MUST BE APPROVED IN ACCORDANCE WITH ONONDAGA COUNTY HEALTH DEPARTMENT REGULATIONS.
- 4) RECERTIFIED AND REVISED TO SHOW LANDOWNER ADDRESS, BUILDING SETBACK LINES AND THE LOCATION OF AN ADDITIONAL PROPERTY MARKER SET.
- 5) RECERTIFIED AND REVISED FEBRUARY, 29, 2016, TO SHOW PROPOSED BOUNDARY LINE RECONFIGURATION.
- 6) RECERTIFIED AND REVISED OCTOBER 3, 2017, TO SHOW THE PROPOSED LOTS 3 & 4.

THE UNDERSIGNED SURVEYOR HEREBY CERTIFIES THAT THIS MAP IS MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY SHOWN HEREON COMPLETED NOVEMBER 2, 2015.

John S. Damiano
JOHN S. DAMIANO LS
LS 050283

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7208, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

REVISIONS	
NO.	DATE

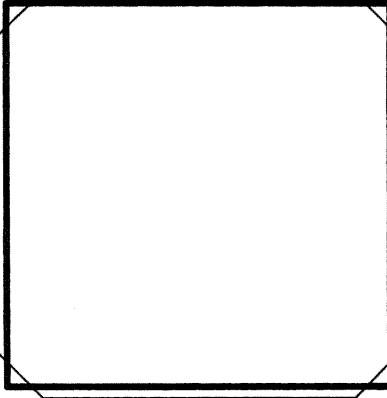
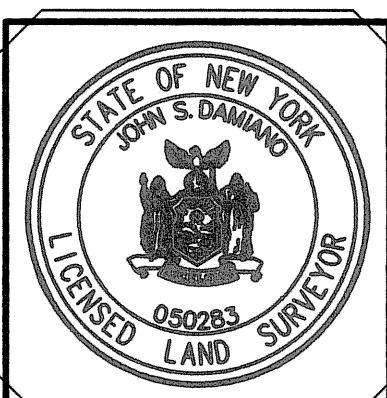
ADVANCED
INFORMATION SYSTEMS

JOHN S. DAMIANO
LICENSED LAND SURVEYOR
051660, NY 13126
275 COUNTY ROUTE 20
(516) 343-9932
(Email) jdamiano@ny.rr.com

SUBDIVISION & BOUNDARY LINE RECONFIGURATION OF:
LANDS OF KENNETH KARLIK
PART OF MILITARY LOT 86
TOWN OF SKANEATELES
ONONDAGA COUNTY, NEW YORK

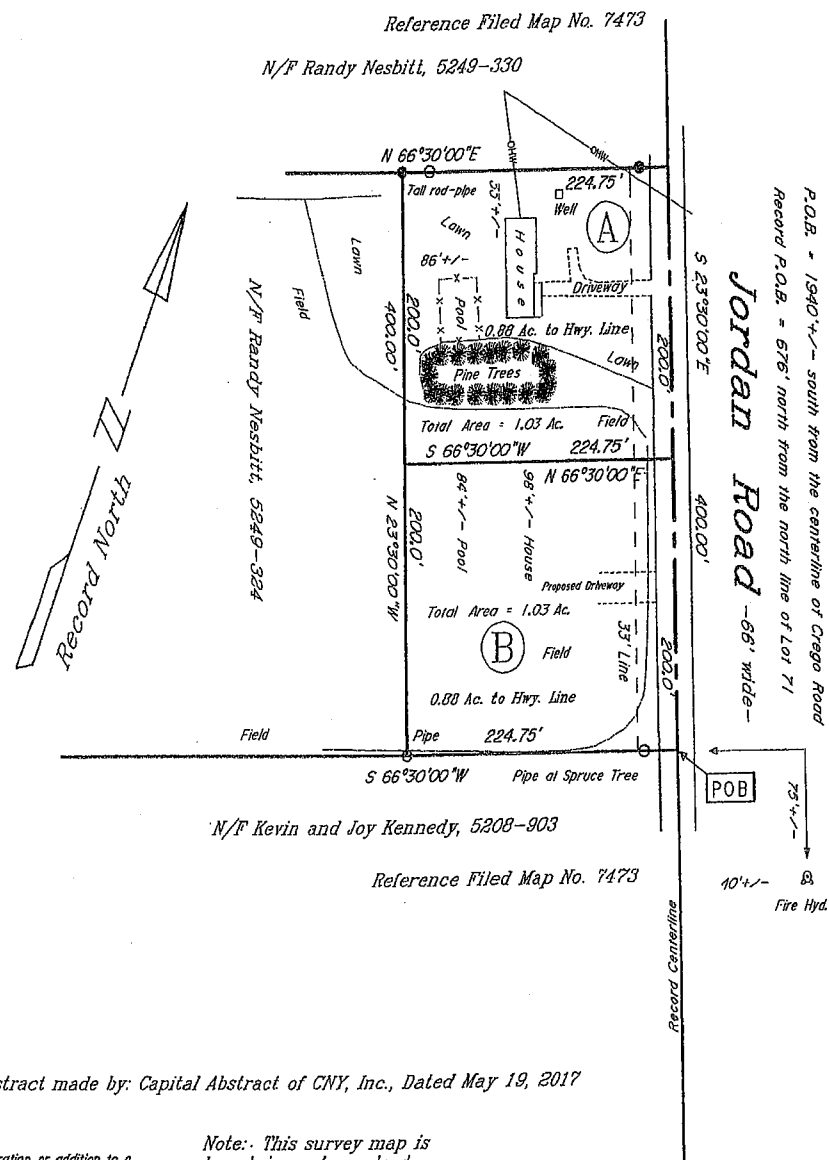
DATE: OCTOBER 3, 2017

SCALE: 1" = 120'



5-17-83

Proposed Subdivision
Survey Map for the lands of
Debra Donnelly & Dean Cummins
Situate At: No. 5815 Jordan Road
Town of Elbridge, County of Onondaga
State of New York
Tax Map No. 032.-05-04.0
Part of Great Lot 58



Debra M. Donnelly;
 Dean D. Cummins;
 Thurston Law Office, P.C., atima;

It is hereby certified to the above named parties, that this map is based on an actual field survey and a review of the record documents referenced hereon. This certification shall run only to the person(s), the title insurance company, governmental agency and lending institution listed hereon, Only as their interests may appear, and is not transferable to additional institutions or subsequent owners.

Map Legend

- ⊙=Rod w/cap (to be set)
- =Marker Found
- R\M= Rec. & Meas. Data

Note: Scale may be reduced for filing.
 Scale: 1"=100 Feet

ANY Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor's seal is a violation of the New York Education Law, and Voids this map. Only copies from the original of this survey marked with the original of the Land Surveyor's signature in red ink shall be considered to be valid true copies. Map scale may have been reduced for filing. Underground utilities (if any) are not shown. Some research data is based on information supplied by the County Tax Map Office.

Note: This survey map is based, in part, on deed descriptions, record survey maps and occupational evidence.



This Map represents my professional opinion and is not valid unless signed in red ink by: Donald J. Watkins, PLS 49713

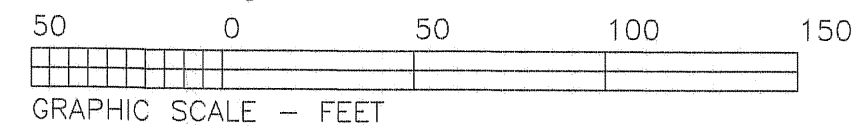
Watkins
Land
Surveying
PLLC

Copyright 2017

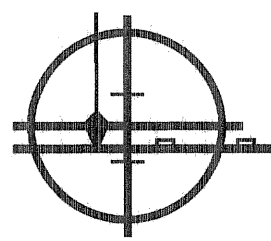
No. 2 Fort Street, Auburn, N.Y. 13021
 Fax (315) 258-8270 Phone (315) 253-6262
www.watkinslandsurveying.com
 Date: June 15, 2017 Job # 17-286.11
 Revised: Sept. 25, 2017 to show subdivision

S-17-85

Winterton Estates – Section "H" – 2nd Amended
Pt. of Lot 72 – Town of Dewitt
Onondaga Co., N.Y.



Scale: 1"=50'



D. W. HANNIG L.S., P.C.
SURVEYORS – PLANNERS – CONSULTANTS
THE MARKET PLACE, BUILDING #1
MANHATTAN, NEW YORK 10104
PHONE: (315) 682-5225 – FAX: (315) 682-7774

I hereby certify that this subdivision map was
prepared by me or under my direct supervision
and that I am a duly Licensed Surveyor
under the laws of the State of New York.
Signed: D. W. Hannig L.S. N.Y.S. No. 041411



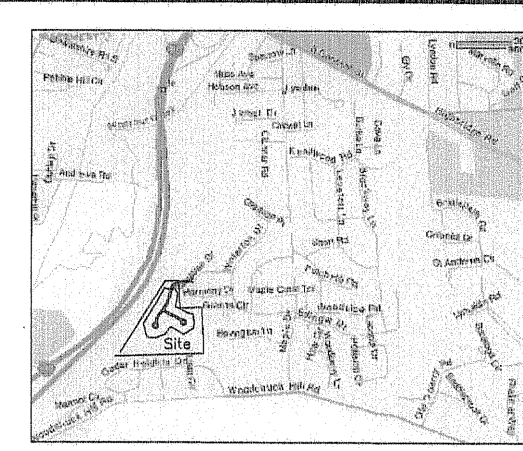
Approved By Owner

I hereby approve this tract map

Fowler Development – Paul Fowler
4293 Ciccone Road
Syracuse, N.Y. 13215

Revisions		
3/7/79	ASB Lots 8775, 8844, 8852, 8856, & 8858	
02/23/96	Proposed Driveway for Lot 6787	
04/14/04	Addressed 3,177 – New Project	
04/26/04	Utilities-Addresses	
02/12/04	Cont. Detention Basin, Drainage Easement	
11/22/03	General Revisions	
02/17/03	General Revisions	
02/15/03	General Revisions	
01/29/03	General Revisions	
01/28/03	General Revisions	
01/17/03	Revised Road Closures & Station Elev.	
01/08/03	General Revisions	
12/12/02	Note Rev'd	
11-12-02	General Revisions	
11-02-02	General Revisions	Final Lots within Envelope
09-21-02	General Revisions	Lots within envelope
08-20-02	Utilities	ASB Lot 8855
08-20-02	General Revisions	ASB Lot 8855

Approved By Onondaga County Health Department



Site Location

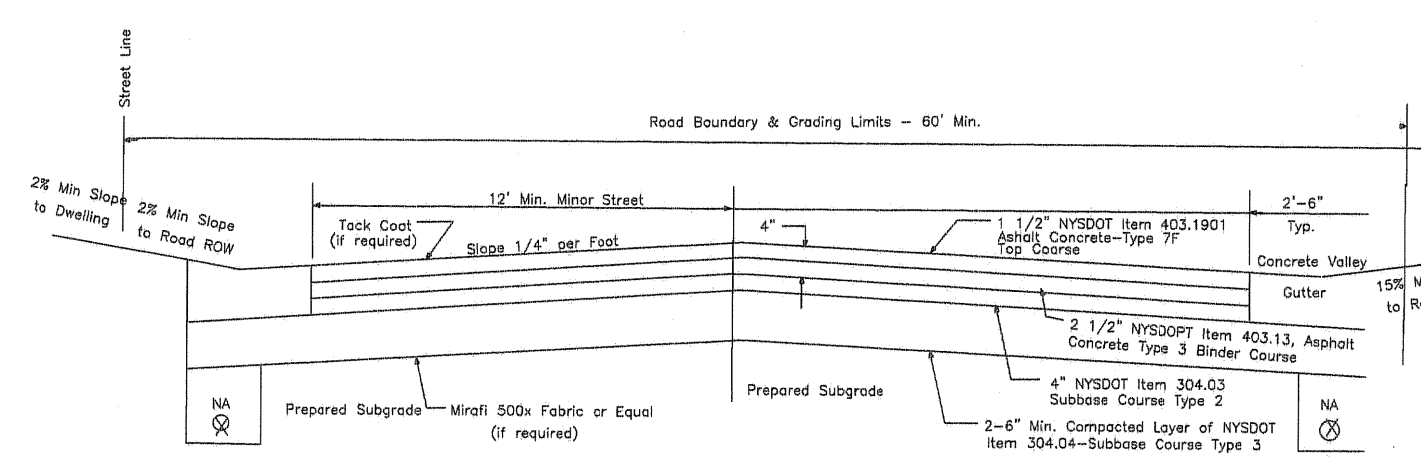
Zoned: R-1
Vicinity Zoned: R-1

TYPICAL SUBDIVISION REQUIREMENTS

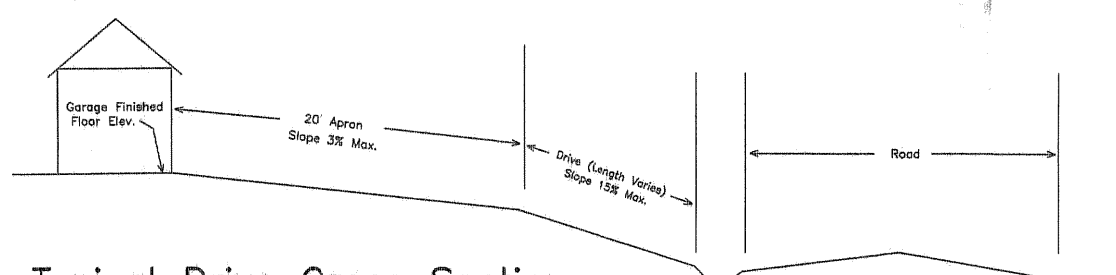
- All structures shall be located within the "Allowable Building Area". If one is shown, unless approved by the Town Planning Board.
- The cut and fill within the subdivision shall balance, i.e., no general grading material shall be removed or brought onto the site.
- Cut and fill slopes shall not exceed a ratio of four to one (4:1) unless explicitly identified on the plan.
- The grades shown on this plan are the final grades – taking into account that 4" to 6" of topsoil will be placed on the site.
- All interior angles of the "Allowable Building Area" shall be ninety (90) degrees unless shown otherwise.
- All existing contours, spot elevations, road alignment and lot line data information has been provided by D. W. Hannig L.S., P.C., Licensed Surveyor.
- Erosion control measures shall be reviewed by Development and Operations (DAO) and the Town Engineer prior to the commencement of work and shall include the following:
 - For the entire Subdivision, a Notice of Intent (NOI) for compliance with the New York State Department of Environmental Conservation SPDES General Permit For Stormwater Discharges From Construction Activities (Permit No. 02P-05-38) must be filed. As a requirement of this permit a Stormwater Pollution Prevention Plan (SPP) Plan must be prepared and reviewed by the Town Engineer. The SPP Plan shall be in accordance with the NYS Soil Conservation Service "Erosion Control Guidelines".
 - Erosion control system as shown on Erosion Control Plan shall be functional and maintained in the section in which work is intended or building permits may be withheld.
 - All cleared and graded areas shall be seeded and grass established and maintained. No area shall be left graded and without grass growth established beyond the earlier of October 1st or ninety (90) days of disturbance of soil.
 - Individual lots shall have minimum erosion control measures as shown on the "Typical Small Lot Erosion Control Guidelines" of Town of Dewitt.
- Note and traffic:
 - No construction work shall be performed:
 - Before 7:00 AM and after 7:00 PM, Monday to Friday.
 - Before 8:00 AM and after 8:00 PM on Saturday.
 - Before 9:00 AM and after 7:00 PM on Sunday and holidays.
- No tree with a diameter in excess of four (4) inches shall be removed from any lot in the Subdivision, unless tree is certified as diseased, a danger or unless the tree is located within the "Allowable Building Area", if one is shown, or within the footprint of the dwelling and five (5) feet from the boundary thereof. If an "Allowable Building Area" is not shown or if the approved grading plan would require removal of the tree to attain finished grade.
- All retaining walls greater than three (3) feet in height proposed, shall be designed by a New York State Licensed professional engineer or architect and be reviewed by the Town Engineer.
- The applicant for the Subdivision shall maintain all drainage swales, pipes, structures, detention and retention basins in a clean and serviceable condition including the cutting and maintenance of grass in a condition satisfactory to the Town. This shall continue until the conditions of the Subdivision are such that these facilities are accepted by the Town and can be maintained as permanently provided for in the subdivision.
- No building permit for a lot shall be issued until the following is completed:
 - The sanitary and water infrastructure is installed.
 - The integrated drainage system is installed.
 - Drainage swales and detention basins are seeded and growth is established and secure.
 - The roads and gutters are constructed except for the topsoil.
 - The road right-of-way areas are top soiled, seeded and growth established.
 - As-built drawings certifying that grading of the building lots is complete and conforms to the approved preliminary subdivision plans.
- All building permits applications shall be accompanied by a grading plan which shall be obtained from the approved preliminary subdivision plans:
 - The grading plans shall conform to the following:
 - The floor elevation of the garage shall be exactly as shown on these drawings.
 - The house location shall be as shown on these drawings.
 - All driveway to the lots in the Subdivision shall be located as shown on these drawings.
 - A builder or developer desiring to construct a house using different grading, garage elevation, house location or driveway location than that shown on the preliminary subdivision, may submit new grading plans with the building permit application. The new grading plans shall contain grades on the entire lot, drainage paths, house location, garage and basement floor elevations and driveway location. New grading plans shall conform to the following:
 - Typical lot layout detail
 - Typical Drive Cross Section
 - Any substantive changes or deviation of the dwelling location or floor elevation from that shown on the approved Preliminary Subdivision Plans or the removal of any trees beyond those allowed must be approved by the Town of Dewitt Planning Board.
- Building permits shall be issued in two (2) parts – a foundation permit and a structure permit. After issuance of the foundation portion of the building permit for a lot, the developer or builder may grade the lot and construct the house foundation. Upon completion of the foundation, the following shall be done:
 - No dwelling or portion thereof shall be commenced, erected, placed, altered or permitted to remain on any lot unless the specified foundation elevations, foundation location and driveway location shall conform to approved grading plan attached to the building permit.
 - No "As built" survey of the completed foundation shall be provided to the Town of Dewitt Development and Operations department.
 - The survey shall show:
 - The foundation location and elevations
 - The proposed finished floor of the garage
 - No construction above the foundation shall be commenced until the "As built" survey has been reviewed and approved by Town of Dewitt Development and Operations department and a structure permit to continue has been issued.
- A Certificate of Occupancy shall be issued when the following is completed:
 - The dwelling is constructed to Town of Dewitt Development and Operations department criteria.
 - The lot is completely graded in accordance with the grading plan attached to the building permit.
 - The lot is completely top soiled and seeded.

PROPOSED WINTERTON ESTATES SECTION H DEVELOPMENT CRITERIA

Setbacks – all units will have a minimum setback from the right-of-way line of 20'. All units will not be closer than 20' to each other.
All buildings will be placed in a random configuration as this 'site plan' shows. The developer will be allowed flexibility as to the type and style of home in the general configuration as this 'site plan' shows.
The design of all driveways will be in conformance with the cross sections shown on this plan – side loaded garage, will be used as reasonable practical.
Grading and slopes shall not exceed that shown on these plans, i.e., a maximum of 4 on 1 slope except on the berm.
No garage or home floor elevation will be lower than the road paving in front of said home. Further – all grades around house will slope away from house at a minimum of 2% for 10 feet.
A minimum of 2 trees per home (46 trees) will be planted per Town Specifications. All landscaping will be completed around each home as unit is complete and as weather permits. Areas outside the "envelope" and on the berm will be graded and seeded as soon as site grading is complete and weather permits.
See Earthwork calculations December 4th 2002 – for balanced site criteria.
The Project will be served by Sanitary Sewers flowing to a Sewerage Pumping Station with a new force main carrying the sewerage to the nearest gravity Mv on Flame Tree Drive. The present force main on Harmony Drive will "T" into our new force main.
Flame Tree Drive will extend into our project and Harmony Drive will "T" into Flame Tree Drive.
Water lines will be installed in all streets and hydrants will be placed at the end of cul-de-sacs. All hydrants will be placed in the landscaped island of the cul-de-sacs. This placement will allow additional flexibility for the new homes.
All units west of Flametree Drive are to be limited to 1 story.
All disturbed areas outside of envelope to have 3-4" of topsoil placed and hydro seeded as soon as grading is completed and weather permits.

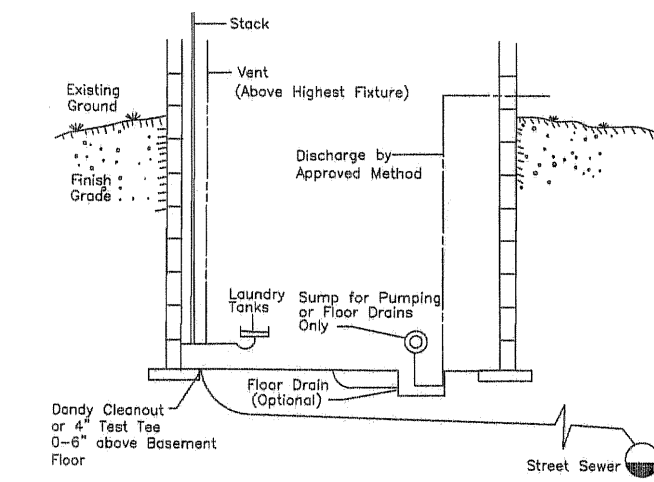


Typical Residential Street Cross Section
Not to Scale



Typical Drive Cross Section
Not to Scale

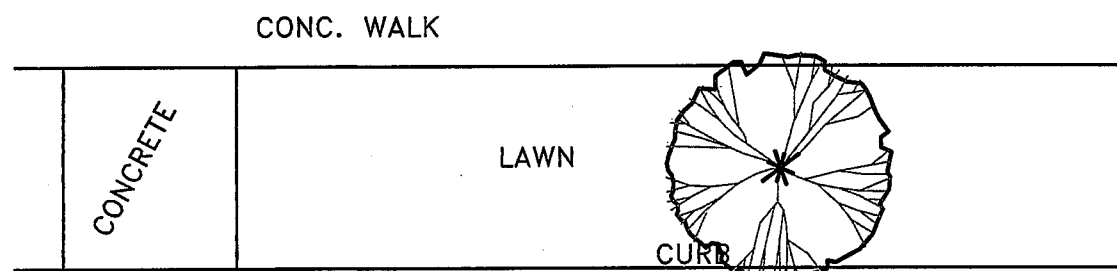
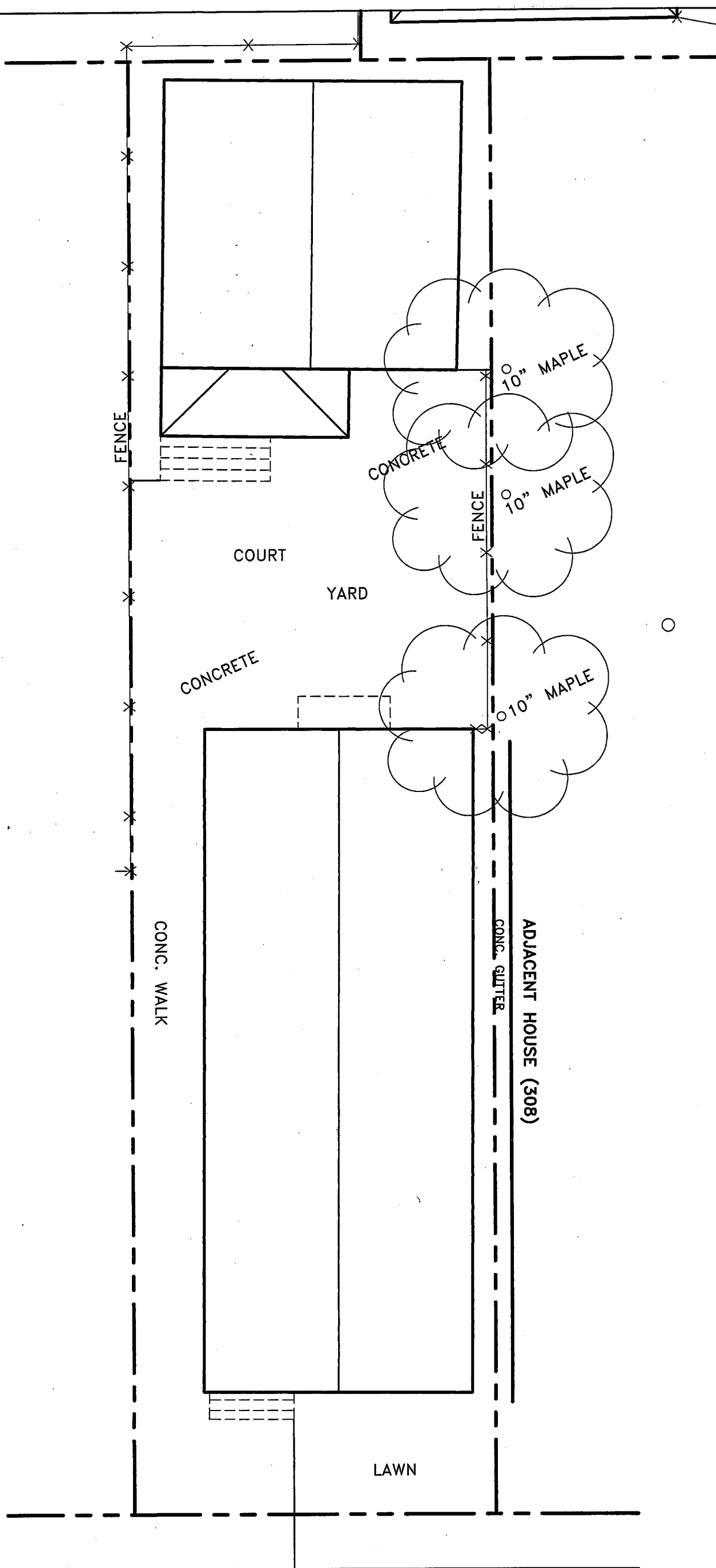
Lot Area = 32.68+- Acres
Disturbed Area = 16.00+- Acres



Proposed Typical Plumbing Layout
Wet Sewer Connection

- Locally Vap water must be widely connected to soil or water table.
- Sum for footings and floor drains may greatly discharge by approved method.
- The ground surface shall be determined by the following activity:
 - Existing surface drainage.
 - Existing floor to be placed below the floor drain or sump.

S-17-87



SITE PLAN

310 & 310 1/2 APPLE STREET - SYRACUSE, NY 13204

2-17-392

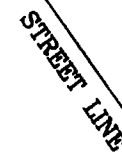
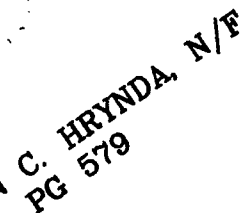
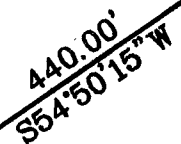
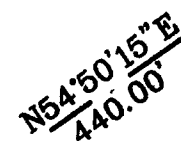
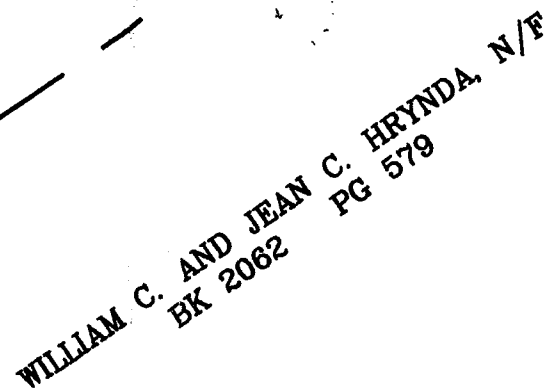
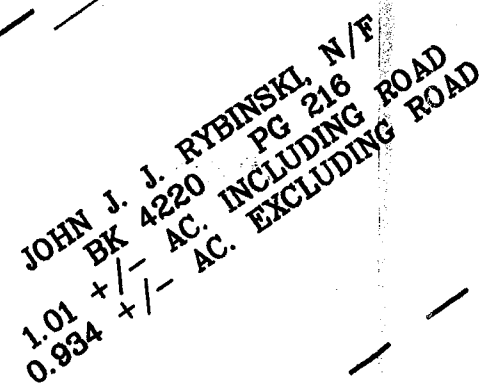
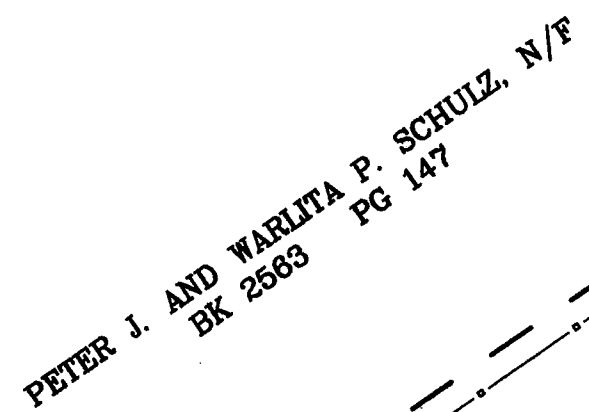


0 5 10 15
SCALE IN FEET

PART OF FARM LOT 22
TOWN OF POMPEY
ONONDAGA COUNTY
NEW YORK

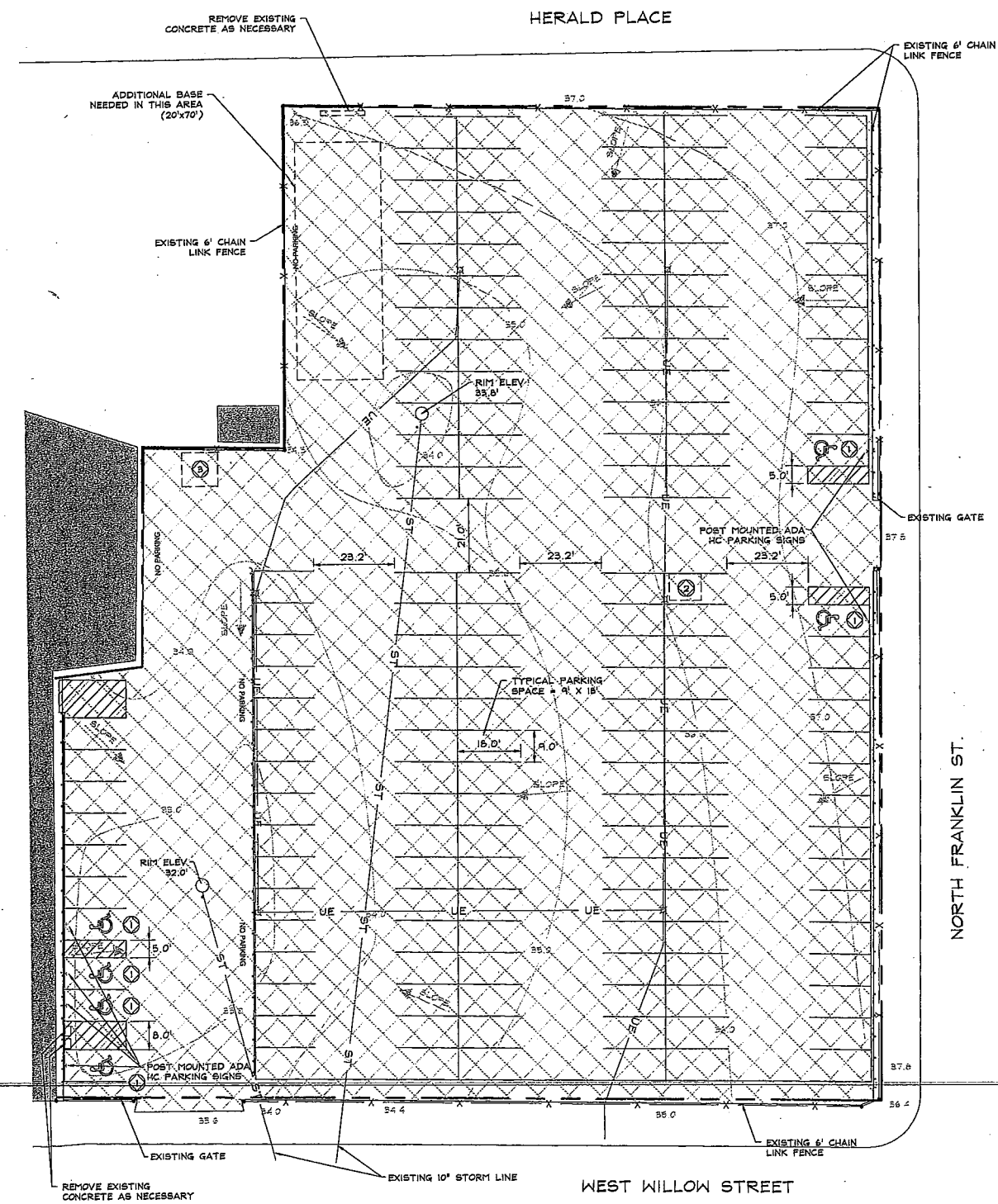
MARCH 2, 2016

SCALE: 1" = 40'

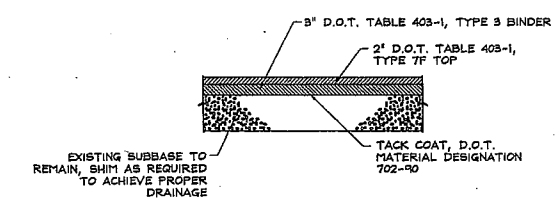


N35°34'15"W

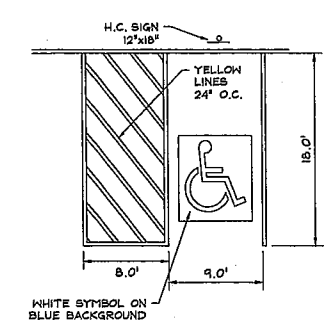
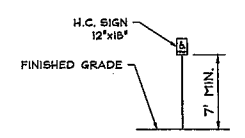
2-17-393



PARTIAL SITE PLAN
SCALE: 1" = 20'
164 PARKING SPACES - 6 ADA SPACES REQUIRED/PROVIDED



TYPICAL ASPHALT PAVING
SCALE: 1/2" = 1'-0"



PAVEMENT MARKING
SCALE: 1 1/2" = 1'-0"

- TRAFFIC SIGNAGE:**
1. ALUMINUM SIGN PANELS: FABRICATED FROM PLAT ALUM. SHEETING, ASTM B209, ALLOY 6061-T6 OR ALLOY 6063-T52, OF THE FOLLOWING THICKNESS AND MOUNTED, UNLESS OTHERWISE SPECIFIED, SIGNS LESS THAN OR EQUAL TO 10 SQUARE FEET SHALL MOUNT ON A SINGLE POST AND SHALL HAVE A THICKNESS OF 0.06 INCHES.
 2. SIGN SUPPORTING HARDWARE SHALL BE ALUMINUM OR STAINLESS STEEL.
 3. REFLECTIVE SHEETING SHALL MEET THE REQUIREMENTS OF AASHTO M 268.
 4. THE SIGN FABRICATOR SHALL DESIGN A COMPLETE SYSTEM OF FASTENERS AND ANCHORAGE DEVICES FOR THE VARIOUS SIGNS, AS REQUIRED FOR THE ATTACHMENT TO THE VARIOUS SUPPORTING STRUCTURES. THESE MAY INCLUDE CONCEALED CLIP SYSTEMS, FACE SCREWS AND EPOXY ADHESIVES, WHEREVER REASONABLY POSSIBLE, FASTENINGS AND ANCHORAGE DEVICES SHALL BE FULLY CONCEALED AND VANDAL PROOF. THE CONTRACTOR SHALL PROVIDE SAFE AND SECURE INSTALLATIONS IN A STRICT CONFORMANCE TO THE GOVERNING LAWS AND BUILDING CODE.
 5. THE HEIGHT OF THE SIGNS ABOVE THE GROUND SURFACES SHALL MEET AMERICANS WITH DISABILITIES ACT "ADA" REQUIREMENTS.
 6. SURFACES OF SIGNS SHALL BE CLEANED AS RECOMMENDED BY MANUFACTURER AFTER INSTALLATION.
 7. ALL DEFECTIVE WORK SHALL BE REMOVED AND REPLACED WITH WORK CONFORMING TO THE SPECIFIED REQUIREMENTS.

GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND ELEVATIONS OR DIMENSIONS PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER IMMEDIATELY AND BEFORE STARTING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL REQUIRED PERMITS FROM THE CITY.
3. PRIOR TO DIGGING, CONTRACTOR SHALL NOTIFY "DIG-SAFELY NEW YORK" IN ACCORDANCE WITH NEW YORK STATE LAW AND DETERMINE LOCATION OF ALL UNDERGROUND UTILITIES. PROVIDE 72 HR. ADVANCE NOTICE. 1-800-562-7962.
4. CONTRACTOR SHALL PROTECT ALL EXISTING CONDITIONS TO REMAIN AND REPAIR ANY DAMAGES PROMPTLY TO ORIGINAL CONDITION.
5. REMOVE ALL DEBRIS INSIDE FENCE. ANY "NON-CONSTRUCTION" MATERIALS MUST REMAIN ON SITE AND PROTECTED. CONTRACTOR SHALL DISPOSE OF CONSTRUCTION MATERIALS OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS AS NEEDED.
6. COMPACTION REQUIREMENTS: SUBGRADE - 95% MAXIMUM DRY DENSITY STONE SUBBASE - 95% MAXIMUM DRY DENSITY OWNER WILL EMPLOY TESTING LAB AT THEIR DISCRETION. CONTRACTOR WILL NOT EMPLOY TESTING LAB.
7. ALL INSTALLED PAVING SHALL HAVE A POSITIVE SLOPE AT 1% MINIMUM. CONTRACTOR TO INSURE PROPER DRAINAGE, CATCH BASINS AND CLEAN-OUT ELEVATIONS TO BE ADJUSTED AS REQUIRED TO PROVIDE POSITIVE DRAINAGE AND PREVENT TRIPPING HAZARDS.
8. POWER SHUT-OFF TO PARKING BOOTH SHALL BE COORDINATED WITH DOWNTOWN COMMITTEE AND NATIONAL GRID.

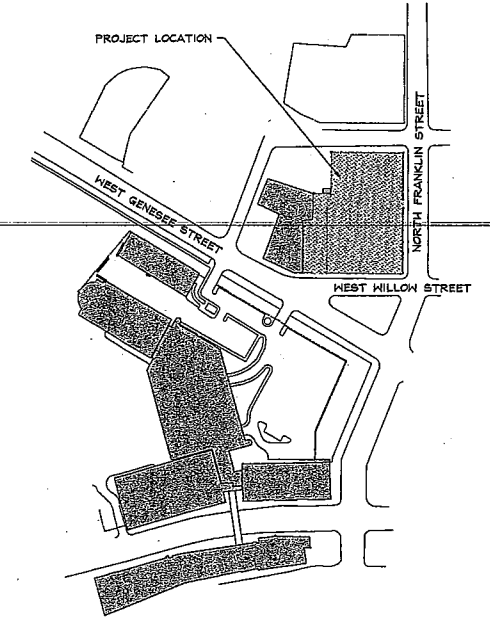
KEYED NOTES

1. PROVIDE ADA ACCESSIBLE SPACE WITH PARKING SIGN. SEE DETAIL 3/C100
2. GUARD BUILDING TO BE SALVAGED BY THE CITY AND REINSTALLED OR RELOCATED AFTER COMPLETION OF WORK.
3. GUARD BUILDING TO BE REMOVED AND DISPOSED OF BY CONTRACTOR.

LEGEND

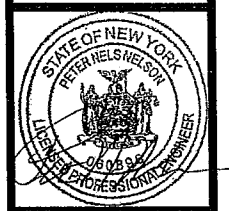
- PROPERTY LINE
- X- EXISTING FENCE
- MANHOLE
- STORM CLEAN OUT
- ⊗ LIGHT POLE
- ▨ EXISTING PAVING TO BE REMOVED AND REPLACED

KEY PLAN



IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ARCHITECT/ENGINEER, TO ALTER THIS DOCUMENT IN ANY WAY. ANY ALTERATIONS MUST HAVE THE SEAL AND SIGNATURE OF THE ARCHITECT/ENGINEER. THESE PLANS ARE THE PROPERTY OF NELSON ASSOCIATES, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF NELSON ASSOCIATES, INC. © 2017

NELSON ASSOCIATES
ARCHITECTURAL ENGINEERING
1 North Park Row - Clinton, NY 13323-1536



PROJECT TITLE
NIAGARA MOHAWK POWER CORPORATION
D.B.A. NATIONAL GRID
SYRACUSE OFFICE COMPLEX
300-324 WEST WILLOW STREET
PARKING LOT-2 REPLACEMENT AND STRIPING

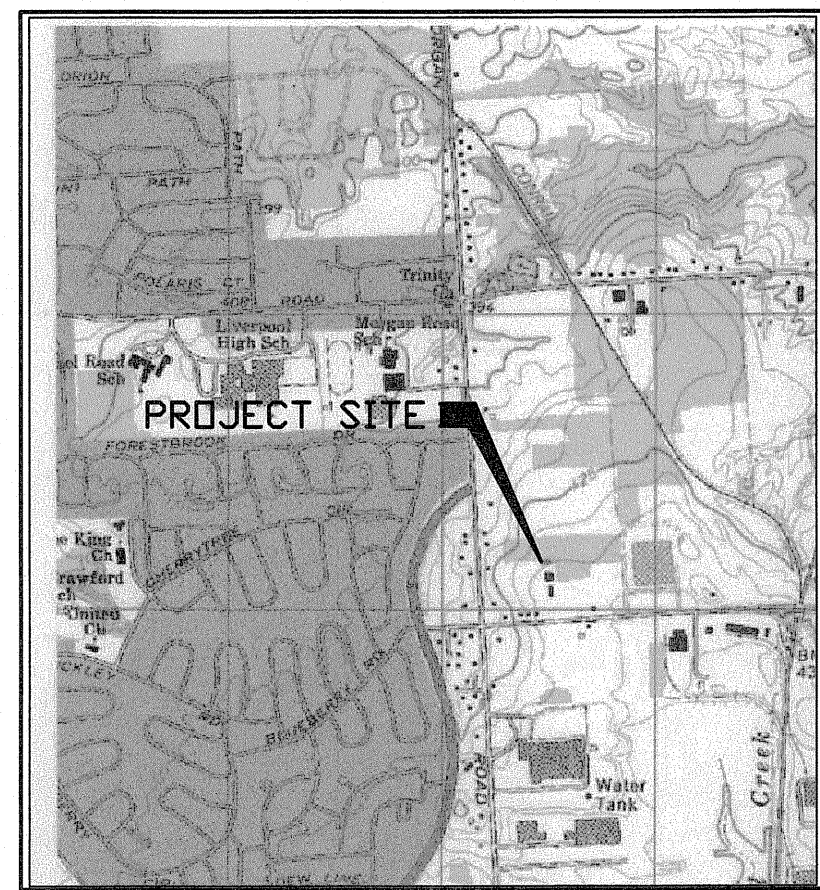
PROJECT NO. 17-1959

TITLEBLOCK	10/3	DRK
REVISION	2017	BY
DATE	05/15/17	
DRAWN BY	DRK	
CHECKED BY	RES	
APPROVED BY	PNN	
SCALE	AS NOTED	

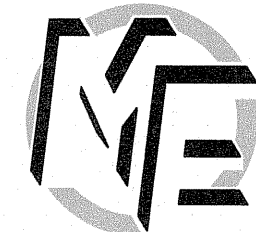
SHEET TITLE
PAVING AND STRIPING SITE PLAN

SHEET NO.
C100

Z-17-396



ZONING SETBACK REGULATIONS (I-1)		PARKING SPACE CALCULATIONS	
FRONT YARD MINIMUM:		EXIST. WAREHOUSE SPACE 51,167 S.F.	26 SPACES
NYS OR COUNTY HIGHWAY:	200 FEET	EXIST. OFFICE SPACE 11,000 S.F.	33 SPACES
TOWN OR PRIVATE HIGHWAY:	50 FEET	RETAIL/SHOWROOM SPACE 3,159 S.F.	22 SPACES
SIDE YARD MINIMUM:	25 FEET	PARKING AREA EXPANSION	28 SPACES
REAR YARD MINIMUM:	25 FEET	TOTAL REQUIRED	81 SPACES
		TOTAL PROVIDED	109 SPACES*
		* INCLUDES FOUR (4) HANDICAP SPACES	



MASTROIANNI ENGINEERING, PLLC
P.O. BOX 2572
LIVERPOOL, NEW YORK 13089
(315) 278-0261

OWNER:
TRUAX & HOVEY
P.O. BOX 2700
LIVERPOOL, NEW YORK 13088

APPROVALS

PROJECT NUMBER 17037
DRAWN BY JAM
NO. DATE ISSUE

RELEASED BY
DATE 10/09/17

4483 BUCKLEY ROAD TRUAX & HOVEY PARKING AREA EXPANSION

SITE INFORMATION

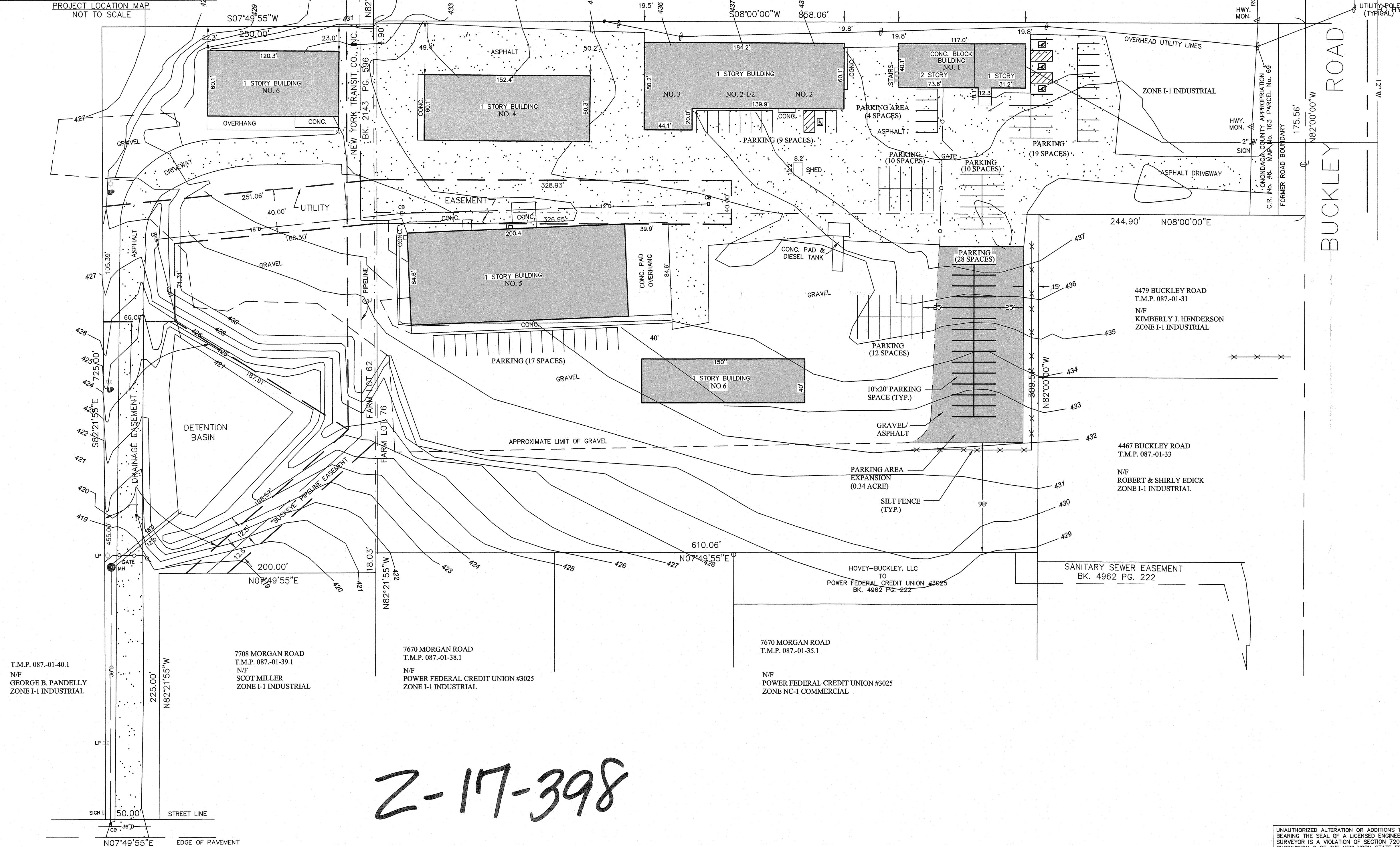
TOWN OF
CLAY
ONONDAGA COUNTY
NEW YORK

SHEET TITLE

AMENDED
SITE PLAN

SHEET NUMBER

P-1



T.M.P. 087-01-40.1
N/F
GEORGE B. PANDELLY
ZONE I-1 INDUSTRIAL

7708 MORGAN ROAD
T.M.P. 087-01-39.1
N/F
SCOT MILLER
ZONE I-1 INDUSTRIAL

7670 MORGAN ROAD
T.M.P. 087-01-38.1
N/F
POWER FEDERAL CREDIT UNION #3025
ZONE I-1 INDUSTRIAL

7670 MORGAN ROAD
T.M.P. 087-01-35.1

N/F
POWER FEDERAL CREDIT UNION #3025
ZONE NC-1 COMMERCIAL

4467 BUCKLEY ROAD
T.M.P. 087-01-33
N/F
ROBERT & SHIRLY EDICK
ZONE I-1 INDUSTRIAL

4479 BUCKLEY ROAD
T.M.P. 087-01-31
N/F
KIMBERLY J. HENDERSON
ZONE I-1 INDUSTRIAL

N/F
ROBERT SCHAFER
4487 BUCKLEY ROAD
ZONE I-1 INDUSTRIAL

2-17-398

AMENDED SITE PLAN

SCALE: 1"=50'

UNAUTHORIZED ALTERATION OR ADDITIONS TO A PLAN BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS A VIOLATION OF SECTION 7209 SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.
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MORGAN ROAD

NOTE: (371.8) IS SPOT
ELEVATIONS TAKEN
NOV., 2007.
(NGVD 1929, DATA)



OCT - 4 2017

ZONING & PLANNING



I HEREBY CERTIFY THAT THIS IS AN ACCURATE MAP OF AN ACTUAL SURVEY.

N.Y.S. LICENSED LAND SURVEYOR - 191

MAP OF:

HOUSE LOCATION SURVEY
PART OF F. LOT # 32
TOWN OF CICERO
ONOND. CO., N. Y.

SCALE: 1" = 20'

DATE: 11-13-07

REDATED: 8-7-17

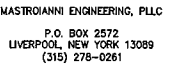
A. SCOTT WHITTAKER, PC
16 WOODWORTH ROAD
CENTRAL SQUARE
NEW YORK 13036
PHONE: 676-3631

FILE #

0711-206-CI

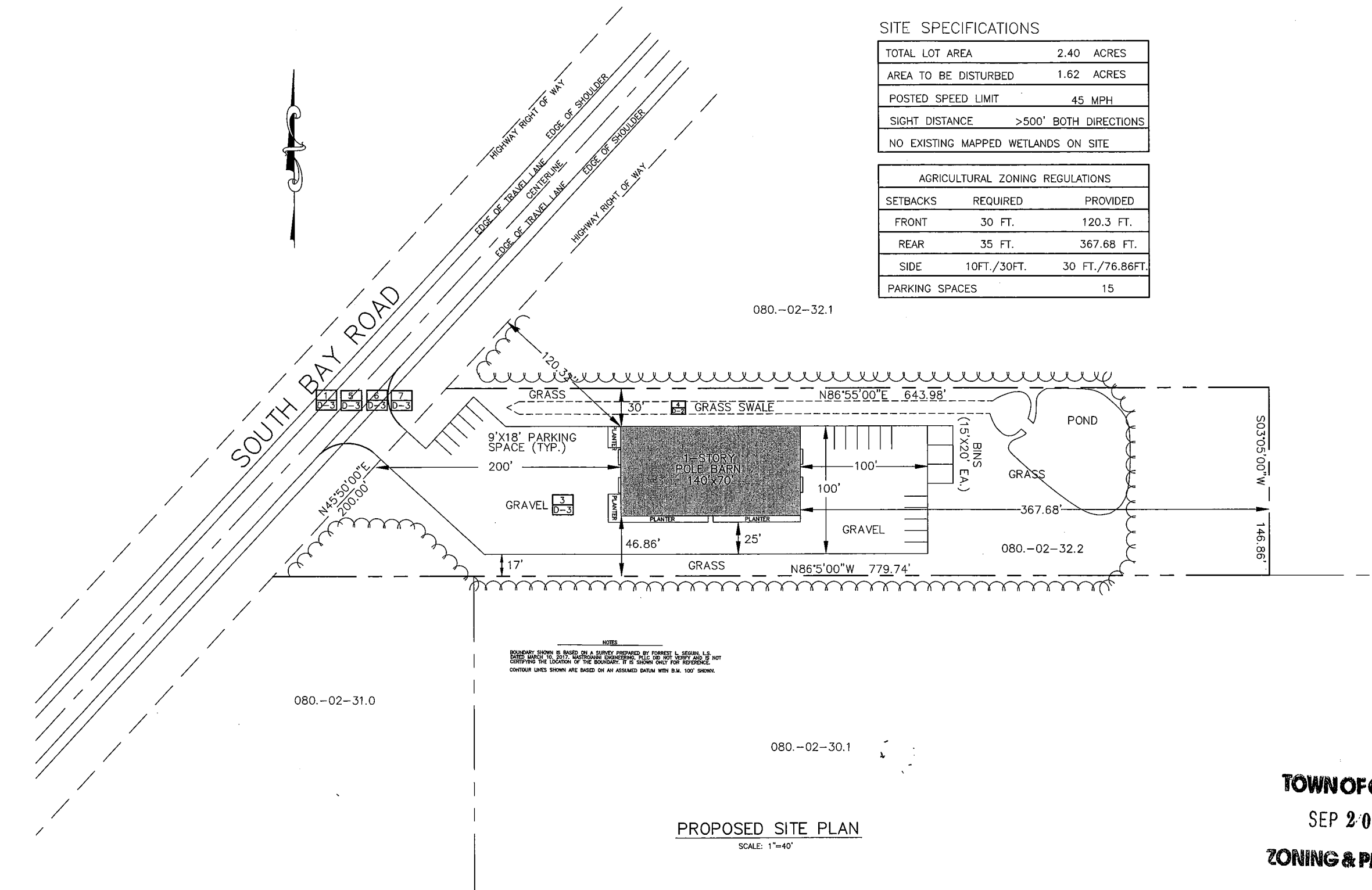
No alteration or addition permitted hereon except as provided under Sect. 7209 Subdiv. 2 of the N.Y.S. Education Law

1ϕ of ill



TOTAL LOT AREA	2.40 ACRES
AREA TO BE DISTURBED	1.62 ACRES
POSTED SPEED LIMIT	45 MPH
SIGHT DISTANCE	>500' BOTH DIRECTIONS
NO EXISTING MAPPED WETLANDS ON SITE	

AGRICULTURAL ZONING REGULATIONS		
SETBACKS	REQUIRED	PROVIDED
FRONT	30 FT.	120.3 FT.
REAR	35 FT.	367.68 FT.
SIDE	10FT./30FT.	30 FT./76.86FT.
PARKING SPACES		15



2-17-403

APPROVALS

PROJECT NUMBER	DRAWN BY
17029	JAM

Q.	DATE	ISSUE

RELEASED BY	DATE
	08/14/17

**HUMMER
LAWN & SNOW
SOUTH BAY ROAD
T.M.P. 080.-02-32.2**

SITE INFORMATION

TOWN OF
CICERO
ONONDAGA COUNTY
NEW YORK

SHEET TITLE

SITE PLAN

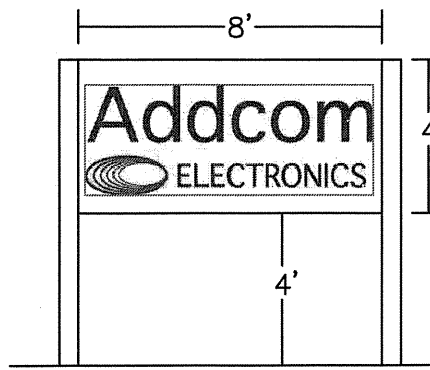
SHEET NUMBER

P-1

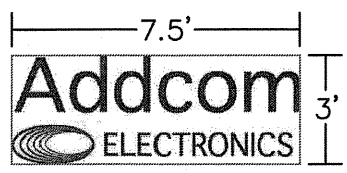
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FREE STANDING SIGN DETAIL
(Internally Lit / 32 sq.ft.)
(NOT TO SCALE)



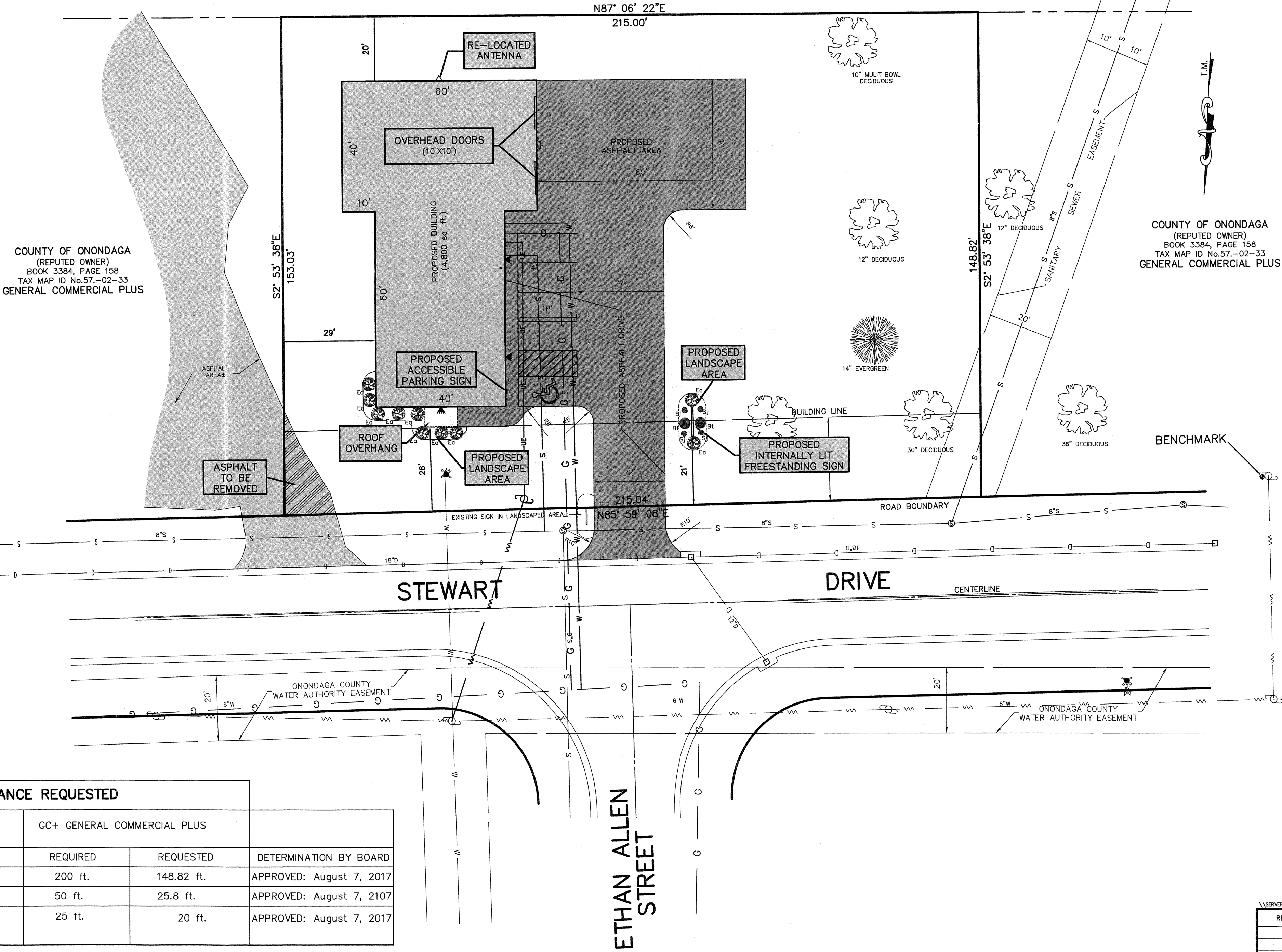
BUILDING MOUNTED SIGN
(Internally Lit / 22.5 sq.ft.)
(NOT TO SCALE)

PLANTING SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QUANT.
Ea	EUONYMUS ALATUS 'COMPACTA'	COMPACT BURNING BUSH	24"-30" hL	CONT.	9
Bt	BERBERIS THUNBERGII	ROSE GLOW JAPANESE BARBERRY	18"-24" sp.	CONT.	2
SJ	SPIREA JAPONICA	GOLDCHARM SPIREA	18"-24" sp.	CONT.	4



LOCATION PLAN
Scale: 1" = 2000'

COUNTY OF ONONDAGA
(REPUTED OWNER)
BOOK 4806, PAGE 557
TAX MAP ID No.57.-02-18.2
GENERAL COMMERCIAL



NOTES:

Total area: 0.745± acres
Total disturbed area: 0.65± acres
Present Zone: General Commercial Plus
Elevations referred to NAVD 88.
Location of underground utilities taken by field measurement where practicable, otherwise taken from various other sources and are approximate only.
The premises shown hereon is within Zone "X" (areas determined to be outside the 0.2% annual chance floodplain) according to Federal Emergency Management Agency National Flood Insurance Program Flood Insurance Rate Map Community Panel No. 36067C0226F, effective date: November 4, 2016.
Part of Tax Map No. 57.-02-33
Total number parking spaces: 5 proposed:
1 Handicap accessible
2 Employee
2 Customer

Projected daily wastewater: 30 gallons
No proposed exterior dumpster
No proposed outdoor uses.

STATEMENT OF USE:

APPLICANT SEEKING SITE PLAN APPROVAL TO CONSTRUCT
A 4,800 SQ.FT. BUILDING AND TO USE SITE FOR RADIO
COMMUNICATION SALES AND SERVICES
HOURS OF OPERATION = MONDAY - FRIDAY, 9AM - 5PM.

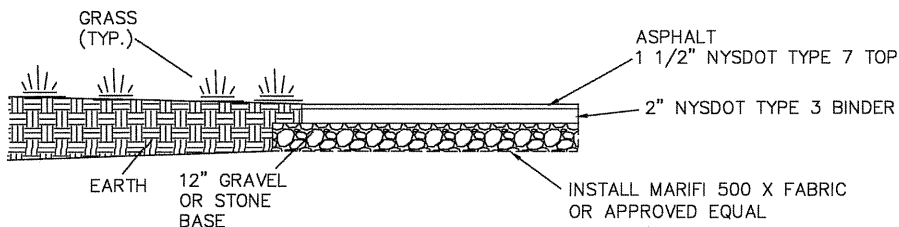
LEGEND:	
☆ LS	indicates light stand
—○—○—	indicates utility pole, anchor & overhead lines
○ PF	indicates iron pipe and/or monument found
●	indicates bollard
—	indicates sign
— 12" CMP —	indicates storm culvert
— 8" G —	indicates gas main, gas valve & gas line marker
— 8" W —	indicates water main, water valve & hydrant
— 18" D —	indicates storm sewer, catch basin & manhole
— 8" S —	indicates sanitary sewer, sewer vent & manhole
— TEL —	indicates underground telephone line, manhole & box
— UE —	indicates underground electric line & manhole
— CATV —	indicates underground television cable & box
---	indicates boundary line
---	indicates adjacent parcel line
---	indicates old/original parcel line
---	indicates easement line
---	indicates centerline road

ZONING REGULATIONS		
GC+ GENERAL COMMERCIAL PLUS		
	Required	Proposed
Minimum Lot Area: (SQ.FT.)	N/A	32,449
Minimum Building Line:	100 ft.	215± ft.
Minimum Lot Depth:	200 ft.	148.82'
Minimum Front Yard:	50 ft.	25.8'
Minimum Rear Yard:	25 ft.	20.0'
Minimum Side Yard:	15 ft.	18.5'
Maximum Building Coverage:	40%	14%
Maximum Building Size:	None	4800 sq. ft.
Maximum Building Height:	60 ft.	23.9 ft. 60.0 ft. (antenna)
Total Parking Spaces:	TBD	5 total
Accessible Parking:		
with min. 96" aisle	1	1
with min. 60" aisle	0	0
Driveway Aisle:	22 feet	22 feet

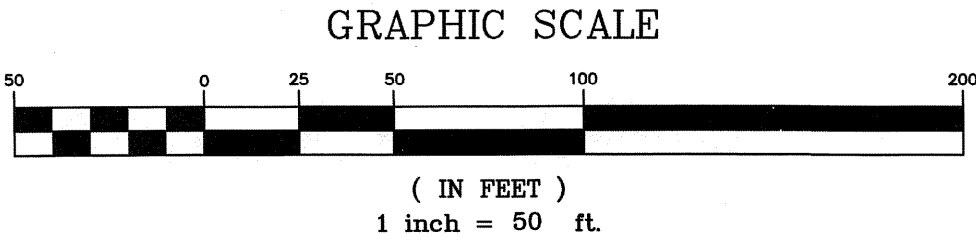
VARIANCE REQUESTED			
PRESENT ZONE:	GC+ GENERAL COMMERCIAL PLUS		
	REQUIRED	REQUESTED	DETERMINATION BY BOARD
Minimum Lot Depth:	200 ft.	148.82 ft.	APPROVED: August 7, 2017
Minimum Front Yard:	50 ft.	25.8 ft.	APPROVED: August 7, 2017
Minimum Rear Yard:	25 ft.	20 ft.	APPROVED: August 7, 2017

OWNER
County of Onondaga
333 W. Washington St.
Syracuse, NY 13202

DEVELOPER
Addcom Electronics
7268 Caswell Ave.
North Syracuse, NY 13212
(315) 458-1877

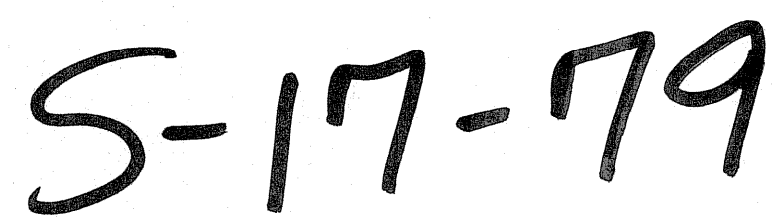


REGULAR DUTY PAVEMENT DETAIL
(TYPICAL - NOT TO SCALE)



2-17-406

REVISIONS		SITE PLAN - EXISTING FEATURES	
		PART OF LOT No. 1F HANCOCK AIRPARK SECTION B 7TH AMD.	
		PART OF MILITARY LOT Nos. 92, 93, & 94 TOWN OF CICERO ONONDAGA COUNTY, NEW YORK	
		IANUZI & ROMANS LAND SURVEYING, P.C. 5251 WITZ DRIVE NORTH SYRACUSE, NY 13212 PHONE: (315) 457-7200 FAX: (315) 457-9251	
		DATE: AUGUST 10, 2017	SHEET NO.
		SCALE: 1" = 20'	2 of 3
		FILE NO.: 12572.001	F.B. NO. 1472



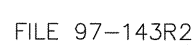
BURT SUBDIVISION
LOTS 1 & 2

TOWN OF ONONDAGA
STATE OF NEW YORK
SCALE: AS SHOWN

JAY D. HOLBROOK
LAND SURVEYOR
3795 ABBEY ROAD SYRACUSE, NY 13215
PHONE 469-4220

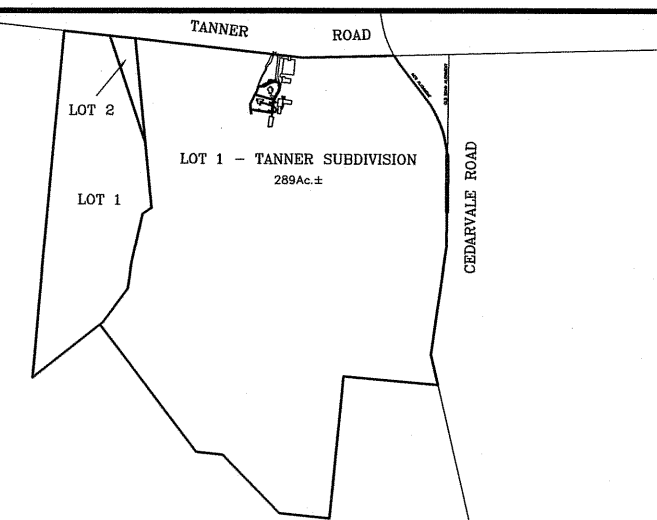
JAY D. HOLBROOK
L.S. LIC. NO. 50047

REVISIONS



SCALE: 1" = 200'

- This area is zoned R-C, Residential and Country.



LOCATION MAP SCALE: 1" = 2000'

MAP REFERENCE:
 "COURTVIEW HEIGHTS"
 DATED: JULY, 1920
 FILED: OCTOBER 22, 1920
 MAP#1706

GENERAL NOTES:
 α = UTILITY POLE
 ● = IRON ROD FOUND

DEED REFERENCES:
 L. 2401 P. 951
 L. 2873 P. 220
 L. 3670 P. 110
 (FOLAND)

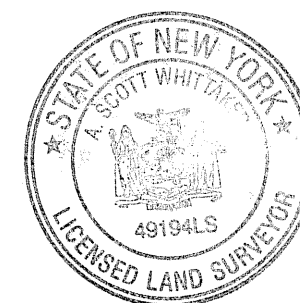


NOTE:
 TAX MAP # 031.-05-01.1
 AND NEW TAX MAP
 # 031.-05-01.2 =
 (TRAILER PARK) ± 10.01 ACRES
 NEW TAX MAP #:
 031.-05-02 = ± 1.50 ACRES
 (VACANT PARCEL)

NOTE: MIN. FRONT SETBACK IS 50'.
 MIN. SIDELINE IS 16'.
 MIN. REAR IS 40'.



RECEIVED
 OCT 13 2017
 PLANNING & ZONING
 TOWN OF DEWITT



I HEREBY CERTIFY THAT THIS IS AN ACCURATE MAP OF AN ACTUAL SURVEY
 A. Scott Whittaker
 N.Y. LICENSED LAND SURVEYOR #49194LS

(VOID UNLESS SIGNED WITH RED INK)

No alteration or addition permitted hereon except as provided under Sect. 7209 Subdiv. 2 of the N.Y.S. Education Law.

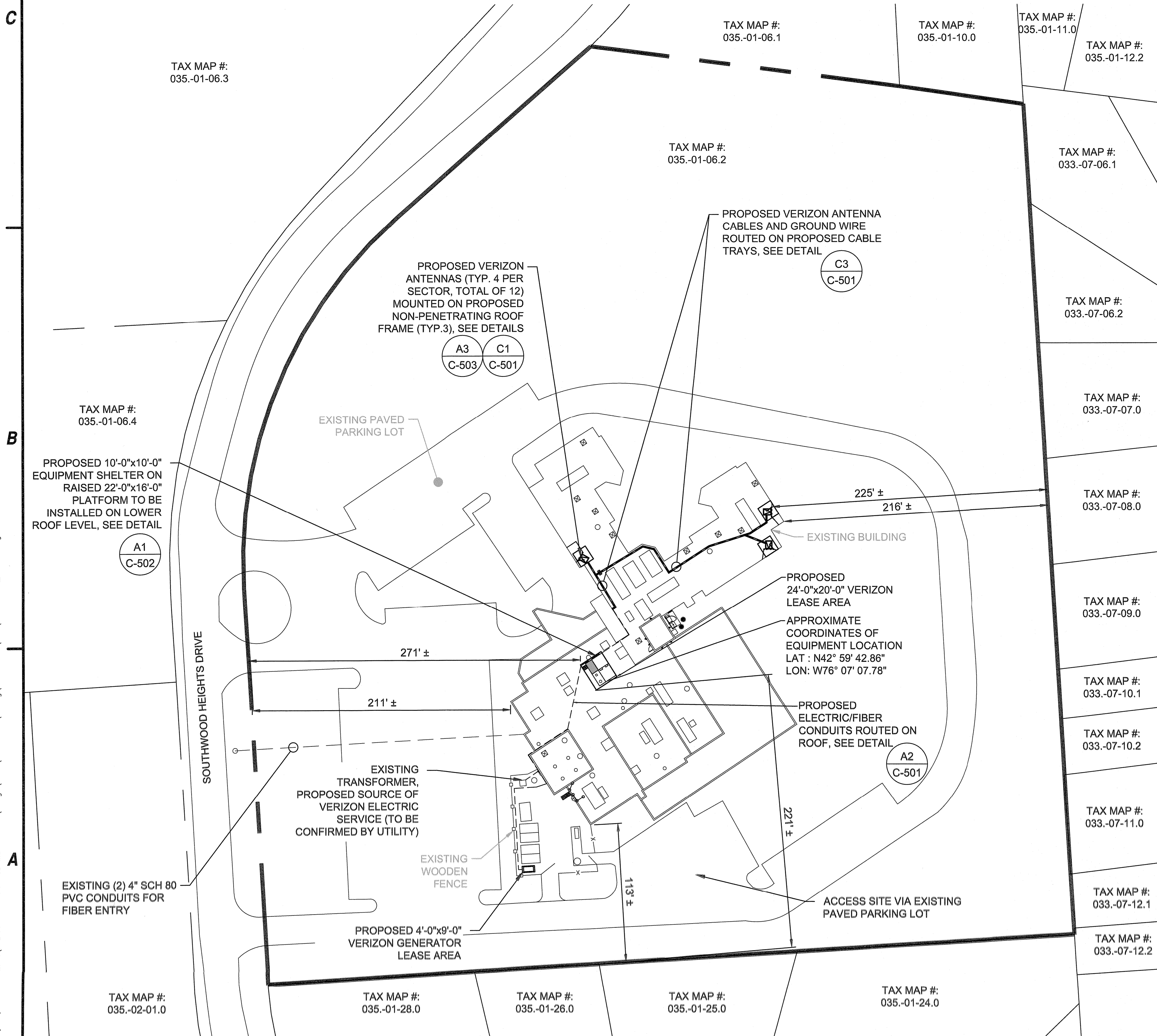
* REVISED: 10-12-17
 (± 10.01 A. = TRAILER PARK)

MAP OF: ^{LOT LINE} ADJUSTMENT PARCEL OF LAND & BUILDING LOCATION SURVEY BEING PART OF FARM LOT #29 LOTS #1 THRU #30 "BLOCK J" "COURTVIEW HEIGHTS TRACT" & "NAUM PARCEL" TOWN OF DEWITT ONONDAGA COUNTY, NEW YORK	
SCALE: 1"=100' A. SCOTT WHITTAKER, PC 16 WOODWORTH ROAD CENTRAL SQUARE, NEW YORK PHONE: (315) 676-3631	DATE: 7-7-10 REVISED: 7-30-10 Lot LINE ADJUST.: 9-22-17 FILE# 1007-088-DEW

S-17-88

Sep. 21, 2017 - 3:52pm
F:\Project\F42 - VERIZON\F42.001.008 UNY NSB Macro 2015\Design\Coord\Southwood\Zoning\Sheet Files\Civil\F42.001.008_C-100.dwg

P-RC - PLANNED RESIDENTIAL COMMUNITY			
REQUIREMENT	MINIMUM REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE AREA	2,000 SQFT.	10.01 ACRES (3,029.12 SF)	10.01 ACRES (3029.12 SF) (NO CHANGE)
MIN. LOT WIDTH	100 FEET	870 FEET +/-	870 FEET (NO CHANGE)
MIN. YARD DIMENSIONS FRONT	35 FEET	211 FEET +/-	271 FEET +/-
MIN. YARD DIMENSIONS SIDE	20 FEET	113 FEET +/-	221 FEET +/-
MIN. YARD DIMENSIONS REAR	50 FEET	216 FEET +/-	225 FEET +/-
MIN. BUILDING HEIGHT	35 FEET	60 FEET +/- (TOP OF PENTHOUSE)	60 FEET +/- (TOP OF ANTENNA)
MAX. LOT COVERAGE	25%	29%	29% (NO CHANGE)



Z-17-394

- GENERAL NOTES:
1. THE PROJECT CONCERNS THE INSTALLATION, OPERATION, AND MAINTENANCE OF AN UNMANNED PUBLIC UTILITY/PERSONAL WIRELESS SERVICE FACILITY.
 2. THE PROPOSED DEVELOPMENT IS UNMANNED AND DOES NOT REQUIRE A MEANS OF WATER SUPPLY OR SEWAGE DISPOSAL, OR HANDICAPPED ACCESS.
 3. THE PROPOSED DEVELOPMENT IS MINIMAL, AND WILL CREATE NEGLIGIBLE ADDITIONAL STORMWATER RUNOFF AND WILL THEREFORE NOT IMPACT THE EXISTING STORMWATER DRAINAGE SYSTEM.
 4. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE OUTDOOR STORAGE, ANY SOLID WASTE RECEPTACLES, OR PLUMBING.
 5. ADEQUATE PARKING EXIST FOR ONE VEHICLE FOR MAINTENANCE ONCE A MONTH OR EMERGENCY SERVICE.
 6. THERE ARE NO NEW STREETS, CURBS, SIDEWALKS OR WALKWAYS PROPOSED.
 7. THERE ARE NO COMMERCIAL SIGNS PROPOSED FOR THIS INSTALLATION.
 8. EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES. THE CONTRACTOR SHALL ALSO NOTIFY UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 48 HOURS IN ADVANCE OF COMMENCING ANY WORK.

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VERIZON WIRELESS
SITE NAME: SOUTHWOOD
PROJECT NO.: 20151238876
LOCATION CODE: 385331
4600 SOUTHWOOD HEIGHTS DRIVE
JAMESVILLE, NY 13078

MARK	DATE	DESCRIPTION
1	9-21-17	ISSUED FOR PERMITTING
REVISIONS		
PROJECT NO: F42.001.008		
DATE: AUGUST 2017		
DRAWN BY: A. CAMPANY		
DESIGNED BY: -		
CHECKED BY: E.N. KENNA, P.E.		
NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW		

OVERALL
SITE PLAN

C-100



Z-17-397



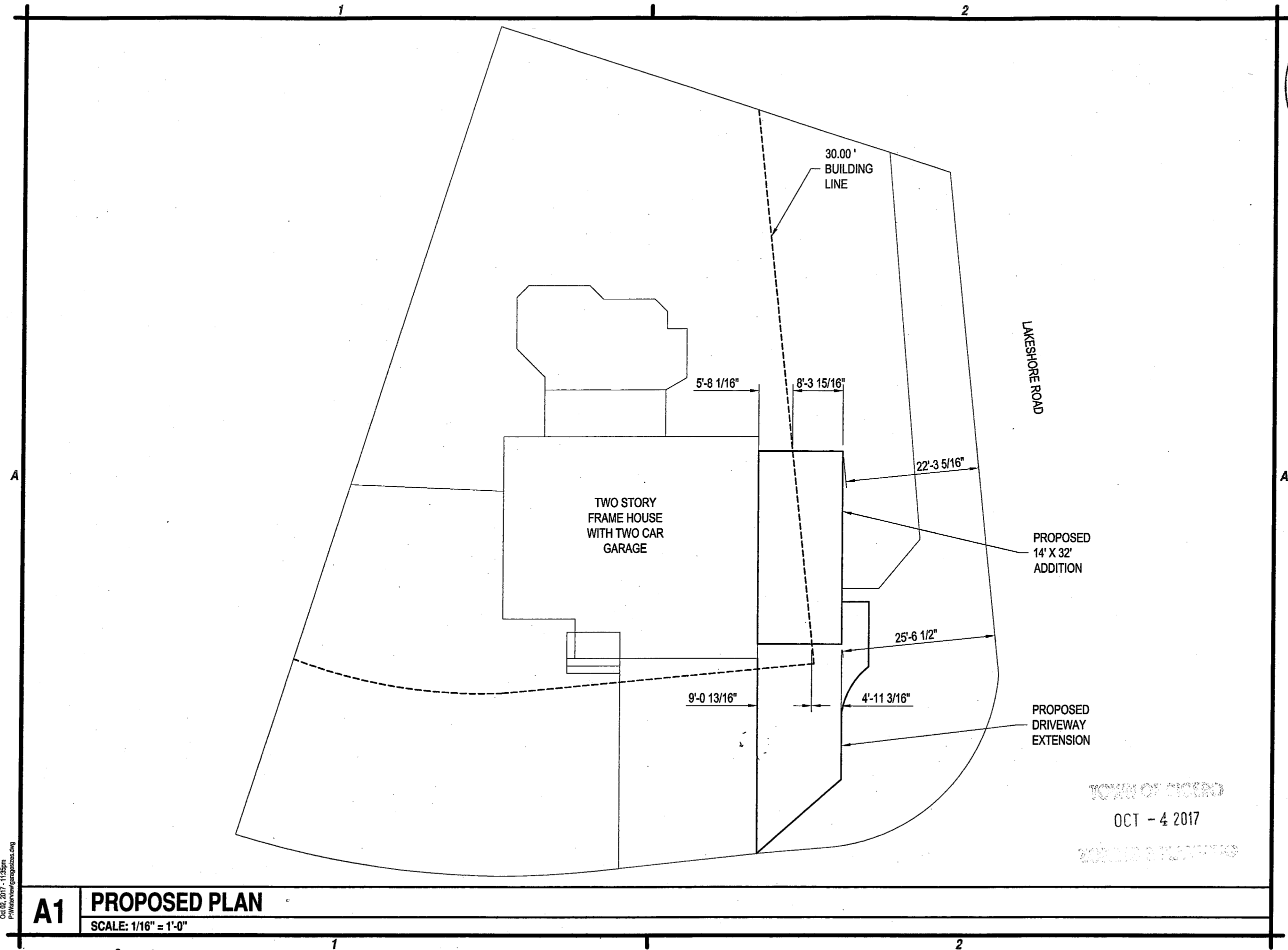
8879 WATERVIEW CIRCLE
PROPOSED GARAGE
ADDITION

MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:		
DATE: 9/28/17		
DRAWN BY: E.M.TAYLOR, PE		
DESIGNED BY: E.M.TAYLOR, PE		
CHECKED BY: E.M.TAYLOR, PE		
NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW		

PROPOSED
PLAN

A-102

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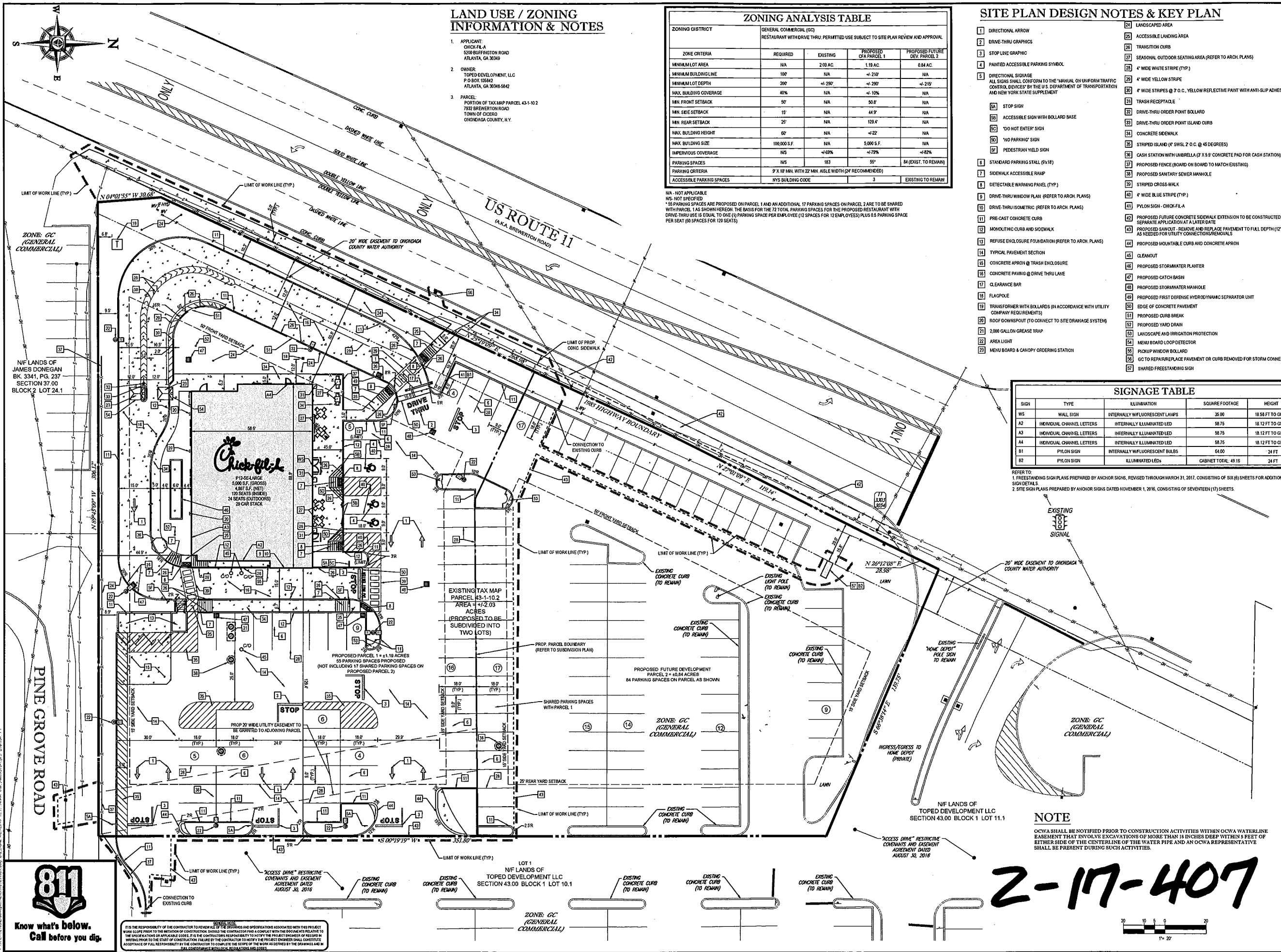
A1

PROPOSED PLAN

SCALE: 1/16" = 1'-0"

Oct 02, 2017 - 11:35pm
P:\WaterView\garageplan.dwg

Z-17-400



LAND USE / ZONING INFORMATION & NOTES

- 1. APPLICANT: CHICK-FIL-A, 5200 BUFFINGTON ROAD, ATLANTA, GA 30350
- 2. OWNER: TOPPED DEVELOPMENT, LLC, P.O. BOX 10542, ATLANTA, GA 30348-0542
- 3. PARCEL: PORTION OF TAX MAP PARCEL 43-1-10.2, 7302 BREWERTON ROAD, TOWN OF CICERO, ONONDAGA COUNTY, N.Y.

ZONING ANALYSIS TABLE				
GENERAL COMMERCIAL (GC) RESTAURANT WITH DRIVE THRU PERMITTED USE SUBJECT TO SITE PLAN REVIEW AND APPROVAL				
ZONING DISTRICT	REQUIRED	EXISTING	PROPOSED CFA PARCEL 1	PROPOSED FUTURE DEV. PARCEL 2
MINIMUM LOT AREA	N/A	2.09 AC	1.19 AC	0.84 AC
MINIMUM BUILDING LINE	100'	N/A	< 210'	N/A
MINIMUM LOT DEPTH	200'	< 290'	< 290'	< 210'
MAX. BUILDING COVERAGE	40%	N/A	< 10%	N/A
MIN. FRONT SETBACK	50'	N/A	50.8'	N/A
MIN. SIDE SETBACK	15'	N/A	44.9'	N/A
MIN. REAR SETBACK	25'	N/A	129.4'	N/A
MAX. BUILDING HEIGHT	60'	N/A	< 22'	N/A
MAX. BUILDING SIZE	100,000 S.F.	N/A	5,000 S.F.	N/A
IMPERVIOUS COVERAGE	N/A	< 65%	< 73%	< 82%
PARKING SPACES	N/A	183	55'	84 (EXIST. TO REMAIN)
PARKING CRITERIA	9' X 18' MIN. WITH 22' MIN. AISLE WIDTH (24' RECOMMENDED)			
ACCESSIBLE PARKING SPACES	N/A	N/A	3	EXISTING TO REMAIN

N/A - NOT APPLICABLE
N/S - NOT SPECIFIED
* 50 PARKING SPACES ARE PROPOSED ON PARCEL 1 AND AN ADDITIONAL 17 PARKING SPACES ON PARCEL 2 ARE TO BE SHARED WITH PARCEL 1 AS SHOWN HEREON. THE BASIS FOR THE 72 TOTAL PARKING SPACES FOR THE PROPOSED RESTAURANT WITH DRIVE-THRU USE IS EQUAL TO ONE (1) PARKING SPACE PER EMPLOYEE (12 SPACES FOR 12 EMPLOYEES) PLUS 0.5 PARKING SPACE PER SEAT (80 SPACES FOR 160 SEATS).

SITE PLAN DESIGN NOTES & KEY PLAN

- 1. DIRECTIONAL ARROW
- 2. DRIVE-THRU GRAPHICS
- 3. STOP LINE GRAPHIC
- 4. PAINTED ACCESSIBLE PARKING SYMBOL
- 5. DIRECTIONAL SIGNAGE
ALL SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION AND NEW YORK STATE SUPPLEMENT
- 6. STOP SIGN
- 7. ACCESSIBLE SIGN WITH BOLLARD BASE
- 8. "DO NOT ENTER" SIGN
- 9. "NO PARKING" SIGN
- 10. PEDESTRIAN YIELD SIGN
- 11. STANDARD PARKING STALL (9'x18')
- 12. SIDEWALK ACCESSIBLE RAMP
- 13. DETECTABLE WARNING PAVEMENT (TYP.)
- 14. DRIVE-THRU WINDOW PLAN (REFER TO ARCH. PLANS)
- 15. DRIVE-THRU ISOMETRIC (REFER TO ARCH. PLANS)
- 16. PRE-CAST CONCRETE CURB
- 17. MONOLITHIC CURB AND SIDEWALK
- 18. REFUSE ENCLOSURE FOUNDATION (REFER TO ARCH. PLANS)
- 19. TYPICAL PAVEMENT SECTION
- 20. CONCRETE APRON @ TRASH ENCLOSURE
- 21. CONCRETE PAVING @ DRIVE THRU LANE
- 22. CLEARANCE BAR
- 23. FLAGPOLE
- 24. TRANSFORMER WITH BOLLARDS (IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS)
- 25. ROOF DOWNSPOUT (TO CONNECT TO SITE DRAINAGE SYSTEM)
- 26. 2,000 GALLON GREASE TRAP
- 27. AREA LIGHT
- 28. MENU BOARD & CANOPY ORDERING STATION
- 29. LANDSCAPED AREA
- 30. ACCESSIBLE LANDING AREA
- 31. TRANSITION CURB
- 32. SEASONAL OUTDOOR SEATING AREA (REFER TO ARCH. PLANS)
- 33. 4" WIDE WHITE STRIPE (TYP.)
- 34. 4" WIDE YELLOW STRIPE
- 35. 4" WIDE STRIPES @ 7' O.C., YELLOW REFLECTIVE PAINT WITH ANTI-SLIP ADHESIVE
- 36. TRASH RECEPTACLE
- 37. DRIVE-THRU ORDER POINT BOLLARD
- 38. DRIVE-THRU ORDER POINT ISLAND CURB
- 39. CONCRETE SIDEWALK
- 40. STRIPED ISLAND (4" SWSL 2' O.C. @ 45 DEGREES)
- 41. CASH STATION WITH UMBRELLA (2' X 5.5' CONCRETE PAD FOR CASH STATION)
- 42. PROPOSED FENCE (BOARD ON BOARD TO MATCH EXISTING)
- 43. PROPOSED SANITARY SEWER MANHOLE
- 44. STRIPED CROSS-WALK
- 45. 4" WIDE BLUE STRIPE (TYP.)
- 46. PYLON SIGN - CHICK-FIL-A
- 47. PROPOSED FUTURE CONCRETE SIDEWALK EXTENSION TO BE CONSTRUCTED UNDER SEPARATE APPLICATION AT A LATER DATE
- 48. PROPOSED SAWCUT - REMOVE AND REPLACE PAVEMENT TO FULL DEPTH (12" MIN.) AS NEEDED FOR UTILITY CONNECTIONS/REMOVALS
- 49. PROPOSED MOUNTABLE CURB AND CONCRETE APRON
- 50. CLEANOUT
- 51. PROPOSED STORMWATER PLANTER
- 52. PROPOSED CATCH BASIN
- 53. PROPOSED STORMWATER MANHOLE
- 54. PROPOSED FIRST DEFENSE HYDRODYNAMIC SEPARATOR UNIT
- 55. EDGE OF CONCRETE PAVEMENT
- 56. PROPOSED CURB BREAK
- 57. PROPOSED YARD DRAIN
- 58. LANDSCAPE AND IRRIGATION PROTECTION
- 59. MENU BOARD LOOP DETECTOR
- 60. PICKUP WINDOW BOLLARD
- 61. GC TO REPAIR/REPLACE PAVEMENT OR CURB REMOVED FOR STORM CONNECTION
- 62. SHARED FREESTANDING SIGN

SIGNAGE TABLE				
SIGN	TYPE	ILLUMINATION	SQUARE FOOTAGE	HEIGHT
WS	WALL SIGN	INTERNALLY W/FLUORESCENT LAMPS	35.00	18.58 FT TO GRADE
A2	INDIVIDUAL CHANNEL LETTERS	INTERNALLY ILLUMINATED LED	58.75	18.12 FT TO GRADE
A3	INDIVIDUAL CHANNEL LETTERS	INTERNALLY ILLUMINATED LED	58.75	18.12 FT TO GRADE
A1	INDIVIDUAL CHANNEL LETTERS	INTERNALLY ILLUMINATED LED	58.75	18.12 FT TO GRADE
B1	PYLON SIGN	INTERNALLY W/FLUORESCENT BULBS	64.00	24 FT
B2	PYLON SIGN	ILLUMINATED LEDS	CABINET TOTAL: 49.16	24 FT

REFER TO:
1. FREESTANDING SIGN PLANS PREPARED BY ANCHOR SIGNS, REVISED THROUGH MARCH 31, 2017, CONSISTING OF SIX (6) SHEETS FOR ADDITIONAL SIGN DETAILS.
2. SITE SIGN PLANS PREPARED BY ANCHOR SIGNS DATED NOVEMBER 1, 2016, CONSISTING OF SEVENTEEN (17) SHEETS.

NOTE
OCWA SHALL BE NOTIFIED PRIOR TO CONSTRUCTION ACTIVITIES WITHIN OCWA WATERLINE EASEMENT THAT INVOLVE EXCAVATIONS OF MORE THAN 18 INCHES DEEP WITHIN 5 FEET OF EITHER SIDE OF THE CENTERLINE OF THE WATER PIPE AND AN OCWA REPRESENTATIVE SHALL BE PRESENT DURING SUCH ACTIVITIES.

5200 Buffington Rd
Atlanta, Georgia 30349-2998

REVISIONS				
Rev	Date	Comment	By	
1	04/14/17	REVISED PER TOWN COMMENTS	VR	
2				
3				
4				
5				
6				
7				
8				
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11				
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13				
14				

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7932 BREWERTON ROAD
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ONONDAGA COUNTY

SHEET TITLE
SITE PLAN

DWG EDITION 02.4

☒ Preliminary
☐ 80% Submittal
☐ For Construction

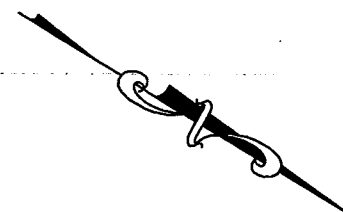
Job No. : B160189
Store : #04018
Date : 03/31/17
Drawn By : VR
Checked By : RWO

Sheet
C-2.0

2-17-407

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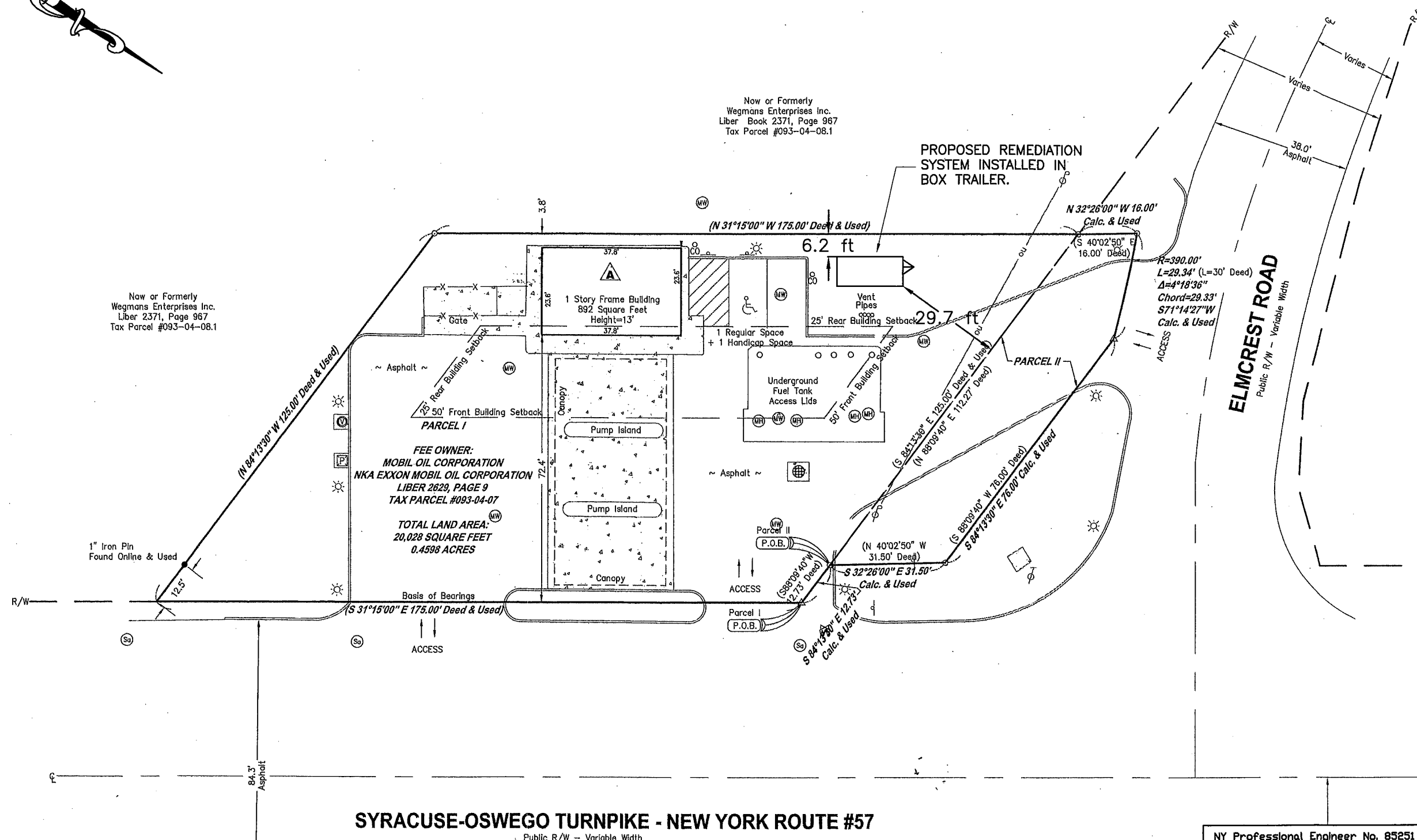
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL CITY ORDINANCES AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE COMPLETED PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE INFORMATION ON APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SHOWN BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL CITY ORDINANCES AND SPECIFICATIONS.



Now or Formerly
Wegmans Enterprises Inc.
Liber 2371, Page 967
Tax Parcel #093-04-08.1

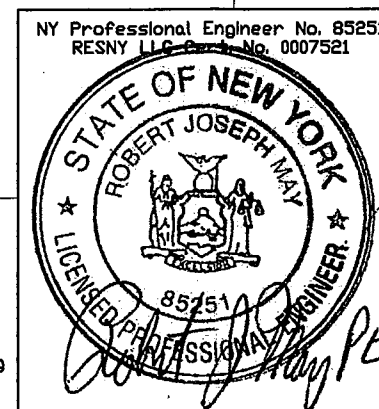
Now or Formerly
Wegmans Enterprises Inc.
Liber Book 2371, Page 967
Tax Parcel #093-04-08.1

PROPOSED REMEDIATION
SYSTEM INSTALLED IN
BOX TRAILER.



GENERAL NOTES:

1. BOUNDARY INFORMATION AND EXISTING FEATURES AS SHOWN TAKEN FROM A SITE ALTA LAND SURVEY BY MILLMAN SURVEYING, INC., DATED SEPT. 27, 2007, REVISED NOVEMBER 11, 2006.
2. NO DETERMINATION FOR THE PRESENCE OF WETLANDS ON THE SITE HAS BEEN PERFORMED.
3. THE ENTIRE PROPERTY IS LOCATED WITHIN ZONE C AS VERIFIED BY REVIEW OF FLOOD INSURANCE RATE FOR THE COUNTY OF ONONDAGA, COMMUNITY PANEL #3605730025C, EFFECTIVE DATE APRIL 17, 1989.
4. ENVIRONMENTAL ASSESSMENT IS ONGOING FOR HISTORICAL IMPACT TO SOIL AND GROUNDWATER.
5. SYNERGY ENVIRONMENTAL, INC. DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS FOR SUBSURFACE UTILITY STRUCTURES SHOWN ON THE PLANS, NOR DOES SYNERGY ENVIRONMENTAL, INC. GUARANTEE THAT ALL SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES BEFORE THE START OF WORK.



RESNY
Remediation Equipment and
Services of New York, LLC

SITE PLAN FOR ZBA APPLICATION
7549 Oswego Rd Clay, LLC
7549 Oswego Road
Town of Clay, Onondaga County, New York

Drawn By:	BTA	Checked By:	CJH	Approved By:	RJM
Scale:	1" = 30'	Dwg No:	Se Liverpool	Sheet:	Site
Synergy Project No:	09-00189-10213				
Rev. Desc:					
File Path:	P:\Lehigh Gas\New York\09_Environmental Projects\7549 Oswego Rd, Liverpool (A.R.D.) - Drawings\Figures\CAD				

It is a violation of NYS law for any person to alter any document that bears the seal of a professional engineer, unless the person is acting under the direction of a licensed professional engineer.

