



J. Ryan McMahon, II
COUNTY EXECUTIVE

Onondaga County Planning Board

MEETING AGENDA

Wednesday, November 5, 2025

11:00 AM

Carnegie Building, 1st Floor
335 Montgomery Street, Syracuse, New York

- I. Call To Order
- II. Approval of minutes from previous meeting date of: 10/15/2025
- III. Other Business
Onondaga County Planning Board 2026 Calendar
- IV. Actions on GML Section 239 Referrals to the County Planning Board
- V. Administrative & Informal Reviews
- VI. Adjourn



J. Ryan McMahon, II
County Executive

Onondaga County Planning Board

ONONDAGA COUNTY PLANNING BOARD 2026 CALENDAR

FILE BY:	FOR MEETING ON:	FILE BY:	FOR MEETING ON:
Friday, December 26, 2025	Wednesday, January 7, 2026	Friday, July 3, 2026	Wednesday, July 15, 2026
Friday, January 16, 2026	Wednesday, January 28, 2026	Friday, July 24, 2026	Wednesday, August 5, 2026
Friday, February 6, 2026	Wednesday, February 18, 2026	Friday, August 14, 2026	Wednesday, August 26, 2026
Friday, February 27, 2026	Wednesday, March 11, 2026	Friday, September 4, 2026	Wednesday, September 16, 2026
Friday, March 20, 2026	Wednesday, April 1, 2026	Friday, September 25, 2026	Wednesday, October 7, 2026
Friday, April 10, 2026	Wednesday, April 22, 2026	Friday, October 16, 2026	Wednesday, October 28, 2026
Friday, May 1, 2026	Wednesday, May 13, 2026	Friday, November 6, 2026	Wednesday, November 18, 2026
Friday, May 22, 2026	Wednesday, June 3, 2026	Friday, November 27, 2026	Wednesday, December 9, 2026
Friday, June 12, 2026	Wednesday, July 24, 2026	Friday, December 18, 2026	Wednesday, December 30, 2026

*Meeting times and locations may change and are subject to notice requirements. Consult the OCPB website for updates at <http://www.ongov.net/planning/ocpbmeetings.html>

UNLESS OTHERWISE INDICATED, MEETINGS ARE HELD AT 11:00 A.M. AT THE
ONONDAGA COUNTY DEPARTMENT OF PLANNING CONFERENCE ROOM
335 MONTGOMERY STREET, 1ST FLOOR

Consult the OCPB website for updates at <http://www.ongov.net/planning/ocpbmeetings.html>

The following items are required for a referral to be considered complete:

1. A fully completed Referral Notice prepared by an appropriate municipal official.
2. A copy of a local application as required by the referring municipal board.
3. A survey, site plan and/or subdivision plan.
4. A completed SEQR Environmental Assessment Form (EAF) and related materials.
5. Any additional information that would facilitate review of the proposed action, such as meeting minutes, other submission materials, etc.

Please submit all referral items in one package. The 30-day review period will not begin until the Onondaga County Planning Board has received a complete referral, as listed above. The Onondaga County Planning Board will act within 30 days of receipt unless a time extension beyond 30 days is agreed upon by the Onondaga County Planning Board and the referring municipal board.

Onondaga County Planning Board Members (as of 3/19/25)

Marty Voss, Chair
Kevin Casserino
Craig Dennis
Don Radke

Michael LaFlair, Vice Chair
Renee Dellas
Marty Masterpole

10/20/25

Phone: 315.435.2611 · Fax: 315.435.2439
Email: countyplanning@ongov.net · Website: ongov.net/planning/index.html

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Case Number: S-25-37

Related Cases:

Referring Board: Town of Pompey Planning Board

Applicant: Mapstone Properties, LLC

Type of Action: PRELIMINARY SUBDIVISION

Location: at 7420 US Route 20

30-Day Deadline: 11/21/2025

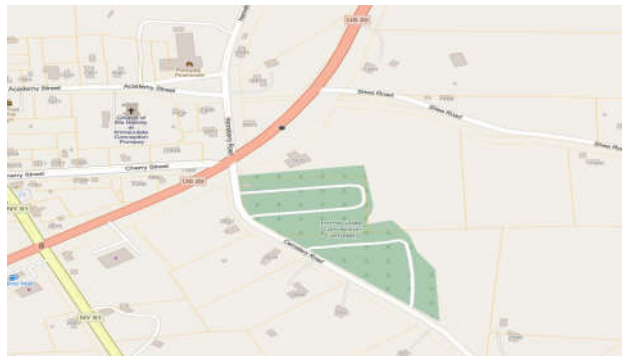
Tax ID: 022.-05-01.1

JURISDICTION:

General Municipal Law Section 239-n allows the County Planning Board to review the approval of subdivisions and the site is located within 500 feet of US Route 20, a state highway, and a farm operation located in a NYS Agricultural District

SUMMARY:

The applicant is proposing to subdivide a 10.15-acre parcel into two new lots, Lot 1 (5.010 acres) and Lot 2 (5.676 acres), in a Commercial © zoning district





STAFF REVIEW:

Past Board Reviews:	The Board previously recommended Modification of site plan and area variance referrals (Z-16-262, Z-16-263) to construct a warehouse/office building, and the applicant must coordinate Route 20 access with the NYS Department of Transportation and coordinate with the Onondaga County Department of Health (OCHD) regarding any proposed septic system.
Concurrent Reviews:	The Board is concurrently reviewing a zone change referral (Z-25-322) to change the site to Residential (R) zoning to allow construction of a single-family home on proposed Lot 2.
Nearby Uses/Setting:	The site is located along the southeastern side of NYS Route 20, east of the area of Pompey. Small parcels containing residential and commercial uses are to the northwest and large parcels containing low-density residential, wooded areas, and agriculture occur to north, east, and south of the site.
Proposed Zoning:	Per the referral materials, the applicant is proposing a zone change on Proposed Lot 2 to Residential (R) to allow a single-family home to be constructed. Per the Town Code, the intent of the R District is "to provide for flexible patterns of family residential development that are protective of sensitive environmental features and resources; or to provide a transition between developed areas and farm and unique environmental areas; or to accommodate the preexisting pattern of one-acre lots and to continue to allow one-acre lot development when part of a planned approach." New lots within the R district are minimally 1 acre in size.
Existing Site Layout:	The site contains a commercial building and its driveway along the Route 20 frontage and the remainder of the site is covered by woodlands. The site has frontage along Route 20, Shea Road, and approximately 48' of frontage along Cemetery Road adjacent to its intersection with Route 20, Henneberry Road, and Cherry Street.
Proposed Site Layout:	Per the Subdivision Map, Mapstone Properties, LLC dated 6/25/25, the applicant is proposing to subdivide the site into new Lot 1 (5.010 acres) and new Lot 2 (1.010 acres). Proposed Lot 1 will have 650' of frontage on Route 20 and approximately 200' of frontage on Shea Road. Proposed Lot 2 will have 205' of frontage on Shea Road. ADVISORY NOTE: Per the NYS Department of Transportation, no additional access to NYS Route 20 will be permitted.
Drinking Water:	The commercial building is served by an individual well and no changes are currently proposed. It appears the proposed single-family home will require a well.
Wastewater:	The Dollar General is served by an individual septic system and no change is currently proposed. It appears the proposed single-family home will require a septic system.

septic system.

ADVISORY NOTE: The Onondaga County Health Department's Bureau of Health Engineering must formally accept or approve, respectively, any existing proposed septic system to service this property prior to Department endorsing the subdivision.

Agriculture: The site and surrounding lands are enrolled in NYS Agricultural District 4. The site is largely wooded and does not appear to contain active farmland, while surrounding lands do. An Agricultural Data Statement was not included with referral materials.

ADVISORY NOTE: Any application for a special use permit, site plan approval, variance, or subdivision approval requiring municipal review and approval that would occur on or within 500 feet of a property within a NYS Certified Agricultural District is required by the NYS Agricultural and Markets Law to include an Agricultural Data Statement.

Watersheds: The site is located over, or immediately adjoining, the Cortland-Homer-Pretz source aquifer (SSA), supplying at least 50% of the drinking water consumed in the overlying area (per EAF Mapper).

Stormwater: Per the Environmental Assessment Form (EAF) dated 9/29/25, no additional stormwater will be generated by the proposal.

ADVISORY NOTE: Per the NYS Department of Conservation (NYSDEC), any project that cumulatively disturbs one acre or more of land must be covered by the NYS SPDES Permit. The municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

Staff Reports for GML Section 239 Referrals

Z-25-321

Case Number: Z-25-321

Related Cases:

Referring Board: Town of Camillus
Town Board

Applicant: Town of Camillus

Type of Action: ZONE CHANGE

Location:

30-Day Deadline: 11/16/2025

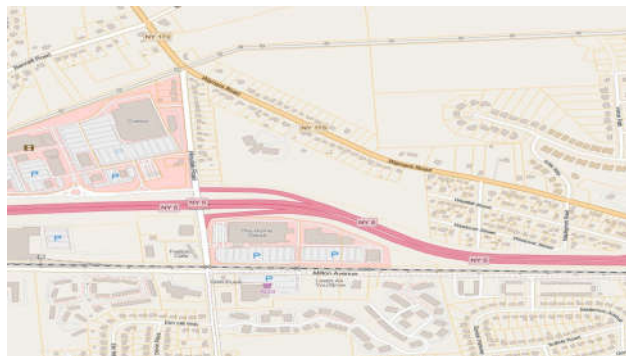
Tax ID: 017.-04-48.1, 017.-04-08.1,
017.-04-09.0, 017.-04-10.0,
017.-04-05.0, 017.-04-06.0

JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review the adoption or amendment of a zoning ordinance or local law and the site is located within 500 feet of Warners Road (Route 173) and Hinsdale Road (Route 209), both county highways, and Route 5 (Camillus Bypass), a state highway

SUMMARY:

The applicant is proposing a zone change on six parcels totaling 22.14 acres from Limited Business Office (LBO) and Commercial (C-5) to Planned Unit Development zoning district, for the Church Street Station mixed-use development.





STAFF REVIEW:

Past Board Reviews: The Board has reviewed multiple referrals regarding the development of this most recently recommending Modification of a zone change referral for this proposed development, advising the applicant is required to coordinate with Onondaga County and NYS Departments of Transportation (OCDOT and NYSDOT) and coordinate with the Onondaga County Department of Water Environment Protection (OCDWEP). The Board also encouraged the Town applicant to coordinate to improve site design and incorporate pedestrian access to serve the residents of the development and the surrounding area. The Board further encouraged the addition of trees, screening, playgrounds, trails, and recreational spaces along with encouraging the applicant to coordinate with New York Regional Transportation Authority (CENTRO) regarding public transit service to the neighborhood.

The Board also provided a recommendation that had been supplied on previous referrals: to coordinate any future changes along this portion of Hinsdale Road with the applicant, Town, OCDOT and NYSDOT to develop a coordinated safety and access plan for this segment of Hinsdale Road and ensure access to Warn Road prior to approval of any Concept and/or Site Plan.

Previous referrals include recommending Modification of a site plan referral (Z-20-201) and No Position with Comment on a zone change referral (Z-24-95) to allow construction of a restaurant, providing similar recommendations. The Board also recommended Modification of a special permit referral (Z-05-49) to construct a church with office and educational facilities on the eastern parcel advising the applicant to coordinate with NYSDOT and provide screening.

Location: The site is located in a transitional area, comprised of six parcels, five of which were former residential parcels on Hinsdale Road, across from the Township 5 development, slated to be converted to commercial uses. The sixth parcel is a one-acre lot containing a church complex on the western half and a wooded area on the eastern half. The site abuts residential to the west, north, and east and abuts Route 5 to the south.

Proposed Zoning: The applicant is proposing a zone change to Planned Unit Development (PUD) for the creation of the Church Street Station PUD. Per the proposed law, the applicant is proposing construction of “up to 50,000 sf of commercial/retail facilities (which may include multiple buildings)” “and a total of eighteen (18) apartment buildings comprised of six (6) six (6) unit buildings and twelve (12) twelve (12)-unit buildings for a total of one hundred eighty (180) units”. Per the Town Code, the PUD shall “promote” ideas including “a choice of environments, housing types, lot sizes, and community facilities available within a planned neighborhood” and “provide usable open space and recreation areas and to conserve natural resources and outstanding landscape features”. No recreational or conservation areas are proposed.

Proposed Site Layout: Per the Concept Site Plan B dated 10/8/25, the development will consist of buildings and parking lots arranged around a central public road. The road to Hinsdale Road across from a Township 5 right-in/right-out intersection all connects to Warners Road at the eastern side of the site between residential buildings. Two retail buildings totaling 7,000 sf with 8-space parking lots each will be located on either side of the internal road, along the Hinsdale Road frontage. Two residential buildings totaling 30,000 sf and parking lots containing 150 spaces are shown south of the church complex, with residential buildings located in the eastern portion of the site.

Per the Concept Site Plan B, the PUD will contain twelve 12-unit apartment buildings arranged along the southern site boundary. Townhouses will be arranged along the northern site boundary in six 6-unit buildings. Parking lots for the residential buildings will be located between the buildings and the public road. The townhomes may also have 4 to 6-car garages located adjacent to the parking lots. Per the Off Street Parking Data Chart on the Concept Site Plan B, the residential parking areas will provide 248 to 282 spaces, dependent on whether parking will be provided in a combination of open lot and garage spaces or open lot parking.

It appears from the Concept Site Plan B the church complex will be subdivided from the proposed development, but a proposed subdivision is not described in the referral materials.

Access: The site has existing driveways to Hinsdale and Warners Roads, both corners with additional frontage on Warners Road at the eastern side of the site. Crosswalks are not depicted.

ADVISORY NOTE: Per the Onondaga County Department of Transportation, existing or proposed roads connections to Hinsdale and Warners Roads must meet Department requirements.

ADVISORY NOTE: Per the NYS Department of Transportation, no access to Route 5 will be permitted.

Access: Changes from the previously referred zone change include the addition of two parcels along Hinsdale Road, depicted in the Concept Site Plan B as containing a stormwater facility. Additional changes include a reduction in parking from 300 spaces to 248-282 spaces, changing one townhouse building from a four-unit building to a six-unit building, and placing a traffic light and crosswalk at the intersection of the internal road and Hinsdale Road.

Landscaping: Some trees are shown around the parking lots, but none are depicted along boundaries. Amenities for use by residents like playgrounds, trails, patios, etc. are not depicted. Sidewalks are depicted in front of residential buildings, Retail Building A, and the north side of the internal road, but not all sidewalks connect to form an interconnected sidewalk network. No screening or buffering between the site and adjacent residential or NYS Route 5 is depicted.

Bike/Ped/Transit: Per the Central New York Regional Transportation Authority (CENTRO), Township 5 Plaza has public transit service and bus stops are located approximately 1/2 mile from the site. There are some sidewalks within the Township 5 Plaza, but not on Hinsdale or Warners Roads near the site.

Drinking Water: Per the referral notice, a new connection to public drinking water is proposed to serve the development. A letter from OCWA dated 8/5/25 included with the materials notes water service is available to this site.

ADVISORY NOTE: The applicant is advised to contact OCWA's Engineering Department to determine the activities and structures permitted within OCWA easements/rights-of-way, water availability and service options, obtain hydrant test information, evaluate backflow prevention requirements, and/or request the Authority conduct hydrant flow testing to assess fire flow availability.

Wastewater: Per the referral notice, a new connection to the public sewers is proposed to serve the development. The site is located in the Metropolitan Wastewater Treatment Plant and Westside Pump Station service areas.

ADVISORY NOTE: The Onondaga County Department of Water Environment Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use; additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connections.html>

Watersheds: The site is located over, or immediately adjoining, primary and principal aquifers (per EAF Mapper).

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as a historic site for archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper).

ADVISORY NOTE: The applicant and/or municipality is advised to contact the Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality Review (SEQRA).

Stormwater: Per the Environmental Assessment Form (EAF) dated 7/15/25, 16.52 acres of the site will be disturbed by the proposed project. Per the Concept Site Plan B, stormwater will be located between residential buildings and the northern and southern boundaries and stormwater basins will be located in the southeast corner of the site and along Hinsdale Road. Per the EAF, the development will result in the loss of 16 acres of forest and 7 acres of meadows, grasslands or brushlands.

ADVISORY NOTE: Any project that cumulatively disturbs one acre or more must be covered under the NYS SPDES Permit; the municipality is advised to ensure that the applicant has obtained the appropriate permits from the NY Department of Environmental Conservation prior to municipal approval.

Staff Reports for GML Section 239 Referrals

Z-25-321

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

Case Number: Z-25-322

Related Cases:

Referring Board: Town of Pompey
Town Board

Applicant: Mapstone Properties, LLC

Type of Action: ZONE CHANGE

Location: at 7420 US Route 20

30-Day Deadline: 11/21/2025

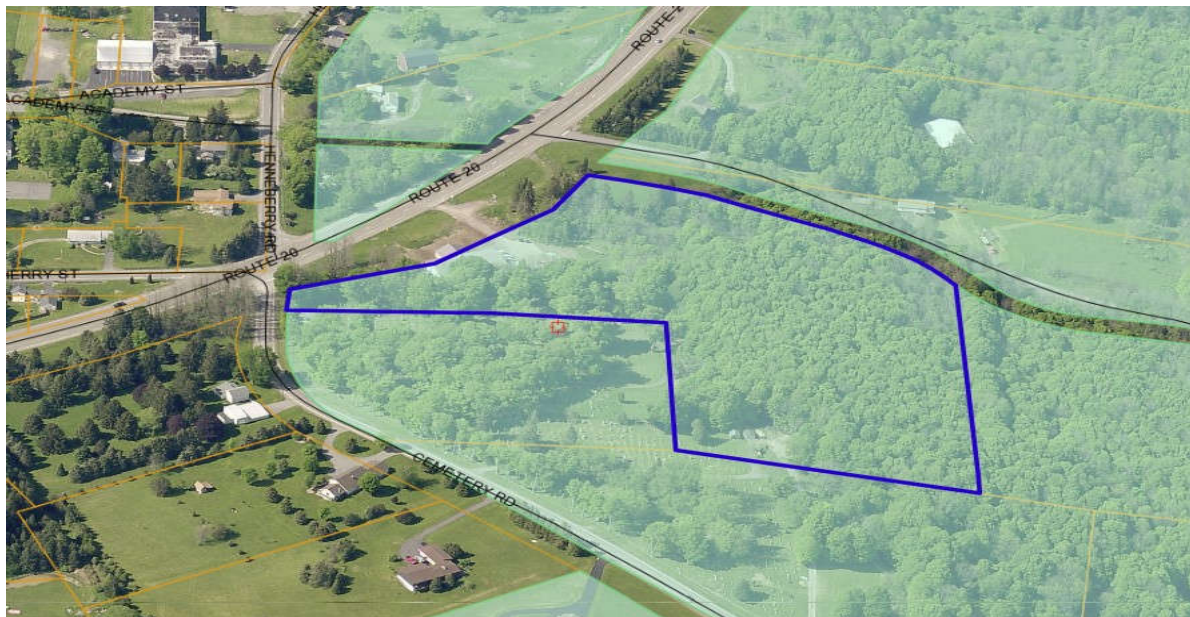
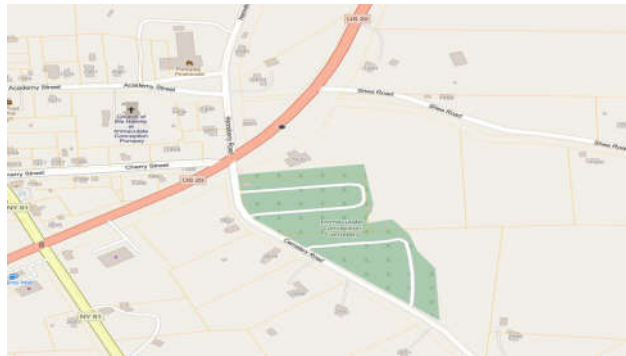
Tax ID: 022.-05-01.1

JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review the adoption or amendment of a zoning ordinance or local law and the site is located within 500 feet of US Route 20, a state highway, and a farm operation located in a NYS Agricultural District

SUMMARY:

Zone change on a 5.676-acre parcel from Commercial (C) to Residential (R).





STAFF REVIEW:

Past Board Reviews:	The Board previously recommended Modification of site plan and area variance referrals (Z-16-262, Z-16-263) to construct a warehouse/office building, and the applicant must coordinate Route 20 access with the NYS Department of Transportation and coordinate with the Onondaga County Department of Health (OCHD) regarding any proposed septic system.
Concurrent Reviews:	The Board is concurrently reviewing a subdivision referral (S-25-37) to divide the site into two new lots: Lot 1 (5.010 acres) and Lot 2 (5.676 Acres).
Nearby Uses/Setting:	The site is located along the southeastern side of NYS Route 20, east of the area of Pompey. Small parcels containing residential and commercial uses are to the northwest and large parcels containing low-density residential, wooded areas, and agriculture occur to north, east, and south of the site.
Proposed Zoning:	Per the referral materials, the applicant is proposing a zone change on Proposed Lot 2 from Commercial to Residential (R) to allow a house to be constructed. Per the Town Code, the intent of the R District is "to provide for flexible patterns of single-family residential development that are protective of sensitive environmental features and resources; or to provide a transition between developed areas and farm and unique environmental areas; or to accommodate the preexisting pattern of one-acre lots and to continue to allow one-acre lot development when part of a planned approach." New lots within the R district are minimally 1 acre in size.
Existing Site Layout:	The site contains a commercial building and its driveway along the Route 20 frontage and the remainder of the site is covered by woodlands. The site has frontage along Route 20, Shea Road, and approximately 48' of frontage along Cemetery Road adjacent to its intersection with Route 20, Henneberry Road, and Cherry Street.
Proposed Site Layout:	Per the Subdivision Map, Mapstone Properties, LLC dated 6/25/25, the applicant is proposing to subdivide the site into new Lot 1 (5.010 acres) and new Lot 2 (5.676 acres). Proposed Lot 1 will have 650' of frontage on Route 20 and approximately 200' of frontage on Shea Road. Proposed Lot 2 will have 205' of frontage on Route 20 and 205' of frontage on Shea Road. ADVISORY NOTE: Per the NYS Department of Transportation, no additional access to NYS Route 20 will be permitted.
Drinking Water:	The commercial building is served by an individual well and no changes are currently proposed. It appears the proposed single-family home will require a new well.
Wastewater:	The Dollar General is served by an individual septic system and no change is currently proposed. It appears the proposed single-family home will require a new septic system.

ADVISORY NOTE: The Onondaga County Health Department's Bureau of Health Engineering must formally accept or approve, respectively, any existing or proposed septic system to service this property prior to Department endorsing the subdivision.

Agriculture: The site and surrounding lands are enrolled in NYS Agricultural District 4. The site is largely wooded and does not appear to contain active farmland, while surrounding lands do. An Agricultural Data Statement was not included with referral materials.

ADVISORY NOTE: Any application for a special use permit, site plan approval, variance, or subdivision approval requiring municipal review and approval that would occur on or within 500 feet of a property within a NYS Certified Agricultural District is required by the NYS Agricultural and Markets Law to include an Agricultural Data Statement.

Other: The site is located over, or immediately adjoining, the Cortland-Homer-Pretz source aquifer (SSA), supplying at least 50% of the drinking water consumed in the overlying area (per EAF Mapper).

Stormwater: Per the Environmental Assessment Form (EAF) dated 9/29/25, no additional stormwater will be generated by the proposal.

ADVISORY NOTE: Per the NYS Department of Conservation (NYSDEC), a project that cumulatively disturbs one acre or more of land must be covered by the NYS SPDES Permit. The municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

Case Number: Z-25-326

Related Cases:

Referring Board: Town of Cicero
Planning Board

Applicant: Halle Properties, LLC

Type of Action: SITE PLAN

Location: at 8076 Brewerton Road

30-Day Deadline: 11/22/2025

Tax ID: 044.-01-17.6

JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Brewerton Road (Route 11), a state highway

SUMMARY:

The applicant is proposing to construct a 7,020 sf America's Tire retail facility on a 0.88-acre parcel in a General Commercial (GC) zoning district





STAFF REVIEW:

Location: The site is a vacant lawn area between the Cicero Market Commercial Plaza and Brewerton Road. An internal road separates the site from the plaza parking lot, which serves both the Walmart at the rear of the plaza and the smaller commercial building at the Brewerton Road frontage. A credit union and Mavis Discount Tire are adjacent to the site along Brewerton Road frontage.

Proposed Site Layout: Per a letter from Bohler Engineering to the Town dated 9/30/25, the applicant is proposing to construct a 7,020 sf America's Tire facility, dumpster enclosure, parking lot, lighting, signage, and landscaping. Per the Site Plan dated 9/30/25, the building will be located in the middle of the lot with a 21-space parking lot along the front side of the building. Driveways from adjacent parcels that connect to the plaza parking lot and internal road will be connected via a driveway along the rear of the proposed building. Landscaping plans were not detailed on the Site Plan.

Access: Access to the site comes from the adjacent parcels. An internal road serving the plaza connects the site to two driveways to Brewerton Road (NYS Route 12). A new access to Brewerton Road is proposed.

ADVISORY NOTE: Per the NYS Department of Transportation, no additional access to Brewerton Road will be permitted.

Bike/Ped/Transit: Sidewalks are located along the Brewerton Road frontage in front of neighboring commercial, but not currently in front of the site. The Site Plan shows a continuous sidewalk along the road frontage, in the NYS right-of-way.

ADVISORY NOTE: Work within the state right-of-way is subject to a work permit from the NYS Department of Transportation.

Bike/Ped/Transit: Per the Central New York Regional Transportation Authority (CENTRO), Brewerton Road has public transit service and bus stops are located within 500' of the site.

Drinking Water: A new connection to public drinking water is proposed.

ADVISORY NOTE: The applicant is advised to contact OCWA's Engineering Department to determine the activities and structures permitted within OCV easements/rights-of-way, water availability and service options, obtain hydrant test information, evaluate backflow prevention requirements, and/or request the Authority conduct hydrant flow testing to assess fire flow availability.

Wastewater: A new connection to the public sewers is proposed. The site is located in the service area of the Orchard Wastewater Treatment Plant and Davis Road Pump Station service area.

ADVISORY NOTE: Capacity assurance approval from the Onondaga County Department of Water Environment Protection (OCDWEP) is required in advance of issuance of a plumbing permit from the County's Plumbing Control Division to connect into the public sewer system. Additionally, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the

municipal engineer. The Capacity Assurance Form and approval process can be found online: <http://www.ongov.net/wep/CapacityAssuranceReviews.htm>

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as for archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper).

ADVISORY NOTE: The applicant and/or municipality is advised to contact Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality Review (SEQR).

Other: The project is within 2,000 feet of a site (ID: V00150) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper).

Stormwater: Per the Environmental Assessment Form (EAF) dated 9/29/25, 0.8 acres of land will be disturbed by the proposed project and "new runoff from impervious areas will be directed ex. on-site catch basin and/or established conveyance ditch."

Easements: Per the Title Survey map dated 9/23/25, there are multiple easements crossing the site: a 20'-wide OCWA easement occurs along the site's road frontage and a variable width OCWA easement occurs along the southern parcel boundary. 10'-wide Ingress/Egress & Utility Easements occur in the northwest and southwest corner where driveways from adjacent sites connect to the rear internal road. A 10'-wide easement to Niagara Mohawk Power Co. & Verizon occurs along the front property boundary.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

Case Number: Z-25-327

Related Cases:

Referring Board: Town of Elbridge
Planning Board

Applicant: Daniel Kowalik

Type of Action: SITE PLAN

Location: at State Route 5

30-Day Deadline: 11/23/2025

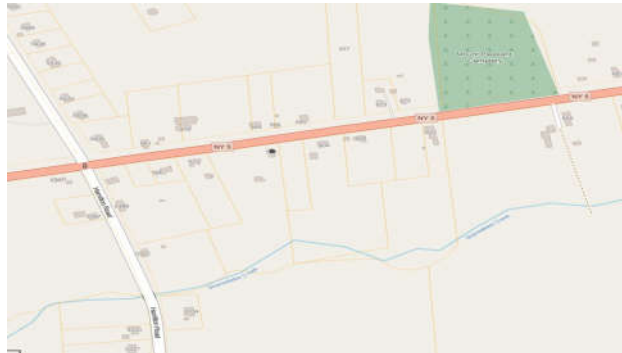
Tax ID: 040.-03-22.2

JURISDICTION:

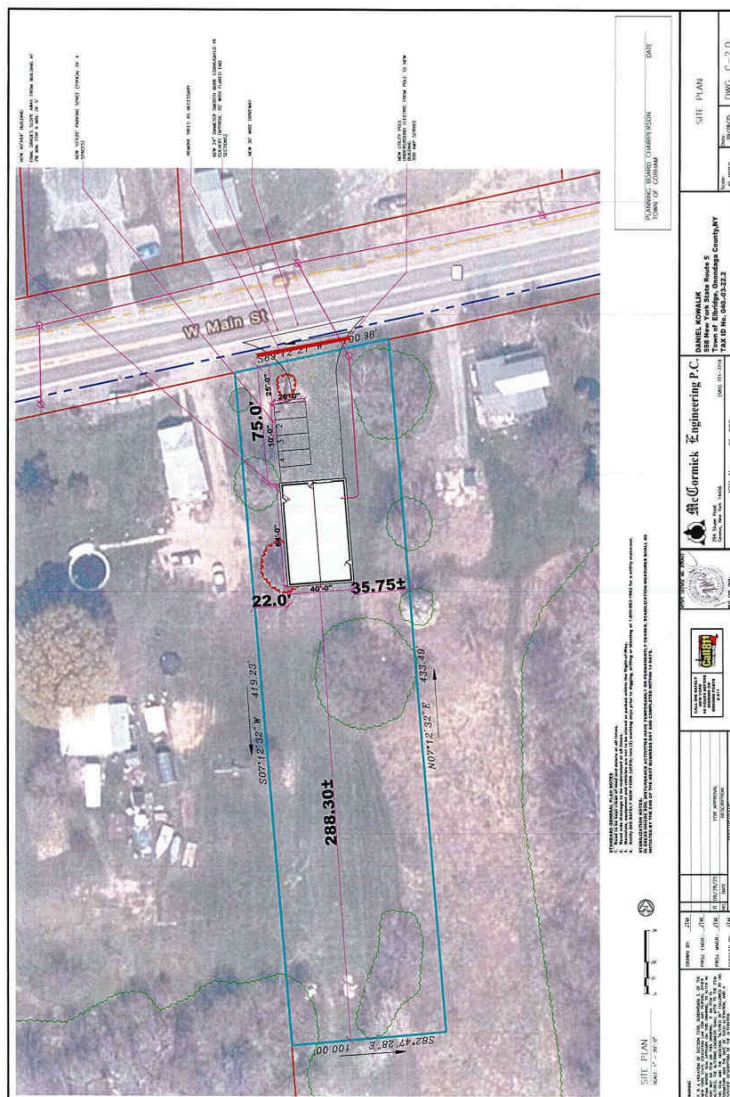
General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of State Route 5, a state highway, and a farm operation located in a NYS Agricultural District

SUMMARY:

the applicant is proposing construction of a 2,560 sf post frame cold storage building on a vacant 1.02-acre parcel in a Business (B-1) zoning district



Z-25-327



STAFF REVIEW:

Nearby Uses/Setting:	The site is located along the south side of NYS Route 5 in the Town of Elbridge west of its boundary with the Village of Elbridge. The area is characterized by density residential and large parcels containing agriculture and/or woodland. Residential lots abut the site on either side. Skaneateles Creek is located to the east of the site, not on the subject parcel.
Existing Site Layout:	Per aerial imagery from May 2024, the site is vacant, containing lawn and trees.
Proposed Site Layout:	Per the referral notice, the applicant is proposing construction of a 40'x64'x10' (2,560 sf) cold storage building. Per the Site Plan dated 9/28/25, the building is positioned in the center of the parcel's road frontage with four parking spaces on the side of a proposed 30'-wide driveway to Route 5.
Access:	The site has no current access to NYS Route 5. Per the Site Plan, the applicant is proposing installation of a new culvert and 30'-wide driveway to Route 5. ADVISORY NOTE: Per the NYS Department of Transportation, all existing and proposed driveways on NYS Route 5 must meet Department requirements.
Drinking Water:	Per the referral materials, there is no existing drinking water service to the site. No changes to the existing infrastructure are proposed.
Wastewater:	Per the referral materials, there is no existing wastewater service to the site. No changes to the existing infrastructure are proposed.
Watersheds:	The site is located over, or immediately adjoining, a principal aquifer (per EAF Mapper).
Historic Resources:	The site or a portion of it is located in or adjacent to an area designated as a historic site for archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper). ADVISORY NOTE: The applicant and/or municipality is advised to contact the Historic Preservation Office to determine if the project should be submitted to the Historic Preservation Office for review as part of the State Environmental Quality Review (SEQR) process.
Stormwater:	Per the Environmental Assessment Form (EAF) dated 10/23/25, the new building will not generate any additional stormwater.

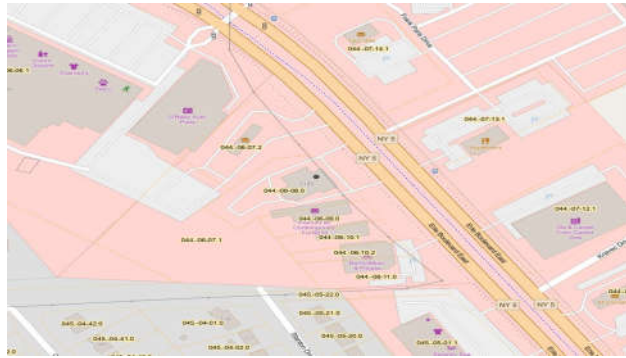
*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

Case Number: Z-25-328**Related Cases:****Referring Board:** Town of DeWitt
Planning Board**Applicant:** 3180 Erie Blvd. East**Type of Action:** SITE PLAN**Location:** 3180 Erie Boulevard East**30-Day Deadline:** 11/26/2025**Tax ID:** 044.-06-08.0**JURISDICTION:**

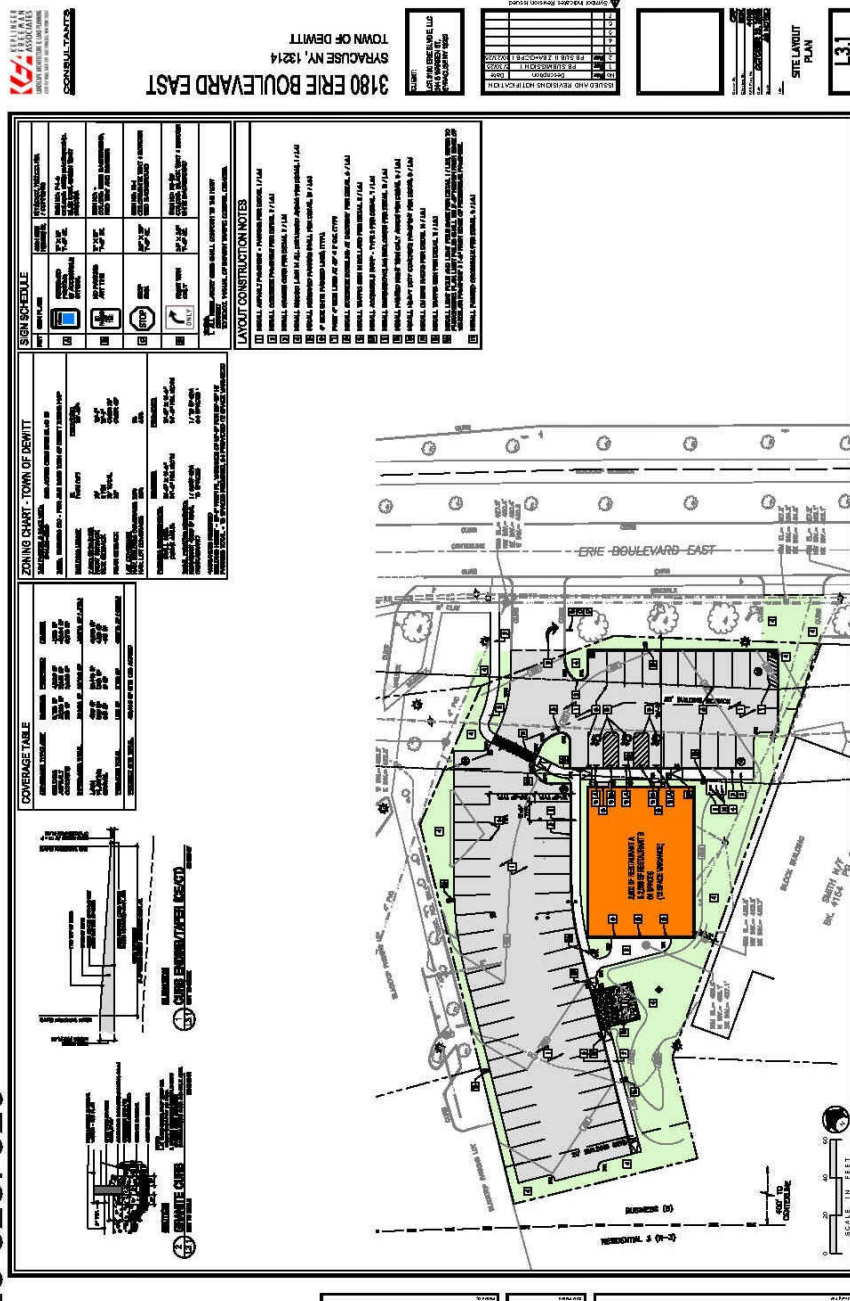
General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Erie Boulevard East (Route 5), a state highway

SUMMARY:

The applicant is proposing to demolish an existing building and construct a 4,500 sf building to house two separate restaurant tenants on a 0.99-acre parcel in a Business zoning district



Z-25-328. 329



STAFF REVIEW:

Past Board Reviews:	The Board previously recommended Modification of a site plan referral (Z-25-328) to renovate the existing building to use as a medical marijuana dispensary, the applicant to provide a lighting plan to the NYS Department of Transport and encouraging a reduction in parking, increase in landscaping, and additional bicycle accommodations on site.
Past Board Reviews:	The Board is concurrently reviewing an area variance referral (Z-25-329) to renovation of this site.
Nearby Uses/Setting:	The site is located among the commercial uses lining Erie Boulevard East (Route 5). An apartment complex and residential neighborhoods are located to the rear of the site. Standalone commercial and commercial plazas are located on either side of Erie Boulevard East in this area. Nearby uses include a furniture store, a fast food restaurant, a spa, fitness centers, and a bicycle store.
Existing Site Layout:	The site contains a former restaurant building surrounded on all sides by a parking lot.
Proposed Site Layout:	Per the referral materials, the applicant is proposing demolition of the existing building and construction of a new 4,500 sf building to house two restaurants along with reconstruction of the parking lot and adding landscaping. Per the Site Layout Plan dated 10/23/25, the proposed building will be positioned in approximately the same location as the existing restaurant with a 64-space parking lot located on the northern and eastern sides of the building. A dumpster enclosure will be located to the rear of the restaurant building. Sidewalks will be installed along the parking lot and will connect to sidewalks along the Erie Boulevard East.
Variances:	The applicant is requesting two area variances: to allow the proposed building to be 20'10" high when Town Code limits the building to 10'2" ("one foot vertically and one foot horizontally, until the horizontal distance is greater than or equal to 10 feet" per Town Code) and to allow the proposed 64-space parking lot when 48 spaces are required by Code.
Access:	The site has two existing driveways to Erie Boulevard East along with a possible cross connection to Erie Boulevard East via an adjacent parcel to the south. Per the Site Layout Plan dated 10/23/25, the southern driveway to Erie Boulevard East and the cross connection will be closed, leaving one driveway to Erie Boulevard East. ADVISORY NOTE: Per the NYS Department of Transportation, all existing and proposed driveways on Erie Boulevard East must meet Department requirements.
Lighting:	A Site Photometric Plan dated 10/23/25 was included with the referral materials.
Landscaping:	Per a Site Planting Plan dated 10/23/25, five trees will be installed adjacent to the parking lot and shrubbery and plantings will be installed around the building.

dumpster enclosure. Existing trees along the road frontage will be retained.

Drinking Water: The site is served by public drinking water and a new connection would be for the new building.

ADVISORY NOTE: The applicant is advised to contact OCWA's Engineering Department to determine the activities and structures permitted within OCV easements/rights-of-way, water availability and service options, obtain hydrant test information, evaluate backflow prevention requirements, and/or request Authority conduct hydrant flow testing to assess fire flow availability.

Wastewater: The site is served by public sewers and is located in the Metropolitan Wastewater Treatment Plant service area and the new restaurant building will require a connection.

ADVISORY NOTE: Per the Onondaga County Department of Water Environment Protection, any and all demolition of buildings requires a permit for sewer disconnects. The applicant must contact Plumbing Control to ensure appropriate permits are obtained.

ADVISORY NOTE: The Onondaga County Department of Water Environment Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use; additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer; the Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connections.html>

Watersheds: The site is located in an Onondaga County Drainage District for Bear Trap Creek, which is maintained by the Department of Water Environment Protection in this area.

Plants/Animals: The site may contain the Northern long-eared bat, or its associated habitat, has been listed by the state or federal government as a threatened or endangered animal species (per EAF Mapper). Impacts to bat species are often associated with tree clearing and from the plans it appears that no trees will be removed as part of the proposed project.

Other: The project is within 2,000 feet of a site (ID: C734108) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper).

Stormwater: Per the Environmental Assessment Form (EAF) dated 9/9/25, 0.67 acres of land will be disturbed by the proposed project and stormwater will be directed to "municipal system from on site structures." Per the Site Plan, it appears the proposed changes to the site will result in significant areas currently covered by asphalt converted to lawn.

Staff Reports for GML Section 239 Referrals

Z-25-328

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

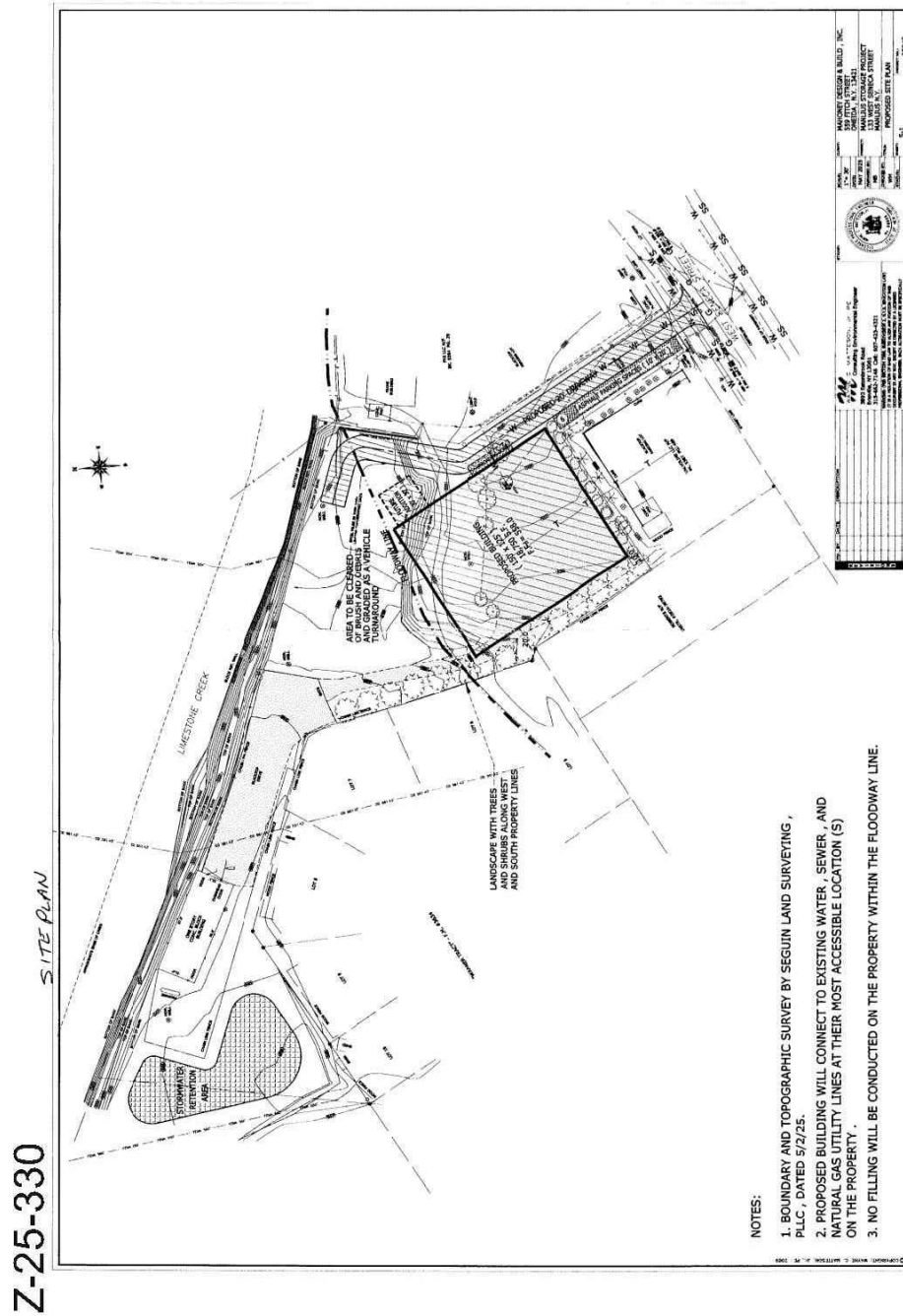
Case Number: Z-25-330**Related Cases:****Referring Board:** Village of Manlius
Village Board**Applicant:** Timothy Mahoney / West
Seneca Street, LLC**Type of Action:** SPECIAL PERMIT**Location:** at 133 West Seneca Street**30-Day Deadline:** 11/26/2025**Tax ID:** 030.-02-03.0**JURISDICTION:**

General Municipal Law Section 239-m allows the County Planning Board to review issuance of special permits and the site is located within 500 feet of West Seneca Street (Route 173), a state highway, and the municipal boundary between the Village of Manlius and the Town of Manlius

SUMMARY:

the applicant is requesting a special permit to allow construction of a 3-story self-storage building on a 2.5-acre parcel in an Industrial zoning district





STAFF REVIEW:

Past Board Reviews:	The Board previously recommended Modification of a site plan referral (Z-25-330) to construct this proposed self-storage facility, advising the applicant that prior to construction of permanent features could occur within a county-owned easement, coordinate with the Onondaga County Department of Water Environment Protection (OCDWEP), and advise the applicant to coordinate with the municipal engineer regarding any disturbances to significant areas of FEMA floodplain and floodway found on site.
Nearby Uses/Setting:	The site is located along West Seneca Street (NYS Route 173), a state road. The site is in an Industrial zoning district in the Village of Manlius, and is the site of a former foundry. Surrounding land uses include a small retail plaza, Valvoline Oil Change, Manlius YMCA, and residential neighborhood lands. Limestone Creek runs along the northern portion of the site.
Existing Site Layout:	The site is largely vacant with a paved entryway on West Seneca Street. A paved driveway leads to the northern end of the site with an existing single-block building (approximately 3,000 sf), to remain. A chain link fence surrounds the building and runs along Limestone Creek. The remainder of the site contains an unpaved area with trees and shrubs.
Proposed Site Layout:	Per the referral materials, the applicant is proposing construction of a three-story, 18,750 sf self-storage building. Per the Proposed Site Plan dated 5/2025, the building is a 150'x125' building to be constructed adjacent to the driveway in a wide area of the parcel near West Seneca Street. The Site Plan notes a 30'x30' addition may be constructed at the northeast corner of the building in the future. Six parking spaces will be established along the driveway. Trees are depicted along the western and southern site boundaries, between the site and adjacent residential. The area between the rear of the proposed building and Limestone Creek is slated to be cleared and graded to create a vehicle turnaround area.
Access:	Existing gravel driveway to West Seneca Street (NYS Route 173). Proposing a wide asphalt driveway in the same location. ADVISORY NOTE: Per the NYS Department of Transportation, all existing and proposed driveways on West Seneca Street must meet Department requirements.
Drinking Water:	The site is served by public drinking water and the new building will require a water connection. ADVISORY NOTE: OCWA's Engineering Department requires the applicant to contact them to determine water availability and service options, obtain hydrograph test information, evaluate backflow prevention requirements, and/or request the Water Authority conduct hydrant flow testing to assess fire flow availability.
Wastewater:	A new connection to the public sewers is proposed to serve the new building. The site is located in the Meadowbrook-Limestone Wastewater Treatment Plant service area.

Manlius Pump Station service areas. Existing county-maintained sewer line portions of the northeastern corner of the site, which may be in the area of disturbance, and those sewer lines are not shown on site plans.

ADVISORY NOTE: The Onondaga County Department of Water Environment Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flows will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 2 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connection>

ADVISORY NOTE: Per the Onondaga County Department of Water Environment Protection (WEP), no permanent structures are permitted within the County easement. Any other work within the County easement must be coordinated with WEP.

Waterbodies: The Limestone Creek corridor abuts the site along the rear property boundary and is listed as a Federal wetland. Per the EAF Mapper, the site contains water bodies listed as water-quality impaired (Lower Limestone Creek and minor tributaries).

ADVISORY NOTE: Streams classified by the NYS Department of Environmental Conservation (DEC) as AA, A, B, C(T), or C(TS) are subject to the stream protection provisions of the Department's Protection of Waters Program; the municipality is advised to ensure all necessary permits and approvals are obtained from the DEC prior to municipal approval.

Floodplain/Floodway: Significant rear portions of the subject parcel are also located in the FEMA floodplain and floodplain associated with Limestone Creek. The floodway line is clearly marked on the site plan, just beyond the building footprint, while the 100-year floodplain is not indicated on the proposed site plan. It appears that portions of the proposed building and future addition would occur within the floodplain. With more restrictive floodway, the plans show a paved road, and labeling noting to be cleared of brush and debris and graded as a vehicle turnaround", and notes "no filling will be conducted on the property within the floodway line."

ADVISORY NOTE: The Onondaga County Hazard Mitigation Plan has identified flooding as a natural hazard of local concern, with the potential to cause extensive threat to property and safety. Buildings within the floodplain can negatively impact the free flow of nearby waterways and drainage, and building within a floodplain is therefore discouraged.

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as a historic site for archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper).

ADVISORY NOTE: The applicant and/or municipality is advised to contact the Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality Review (SEQR).

Plants/Animals: The site may contain the Northern long-eared bat, or its associated habitat.

has been listed by the state or federal government as a threatened or endangered animal species (per EAF Mapper).

ADVISORY NOTE: Per the NYS Department of Environmental Conservation (DEC), if the site contains a threatened or endangered species and/or associated habitat, and the project requires review under the State Environmental Quality Review Act (SEQRA), a request for a project screening should be submitted to the New York Natural Heritage Program or to the regional DEC Division of Environmental Permits office.

Stormwater: Per the Environmental Assessment Form (EAF) dated 10/21/25, 0.75 acres of site will be disturbed by the proposed project. The Proposed Site Plan shows a stormwater retention area will be constructed in the northwest corner of the site. The referral materials indicate a Stormwater Pollution Prevention Plan (SWPPP) was prepared for this proposal, but the SWPPP was not included with the referral materials.

ADVISORY NOTE: Per the NYS Department of Conservation (NYSDEC), a project that cumulatively disturbs one acre or more of land must be covered by a NYS SPDES Permit. The municipality is advised to ensure that the applicant has obtained the appropriate permits from the NYS Department of Environmental Conservation prior to municipal approval.

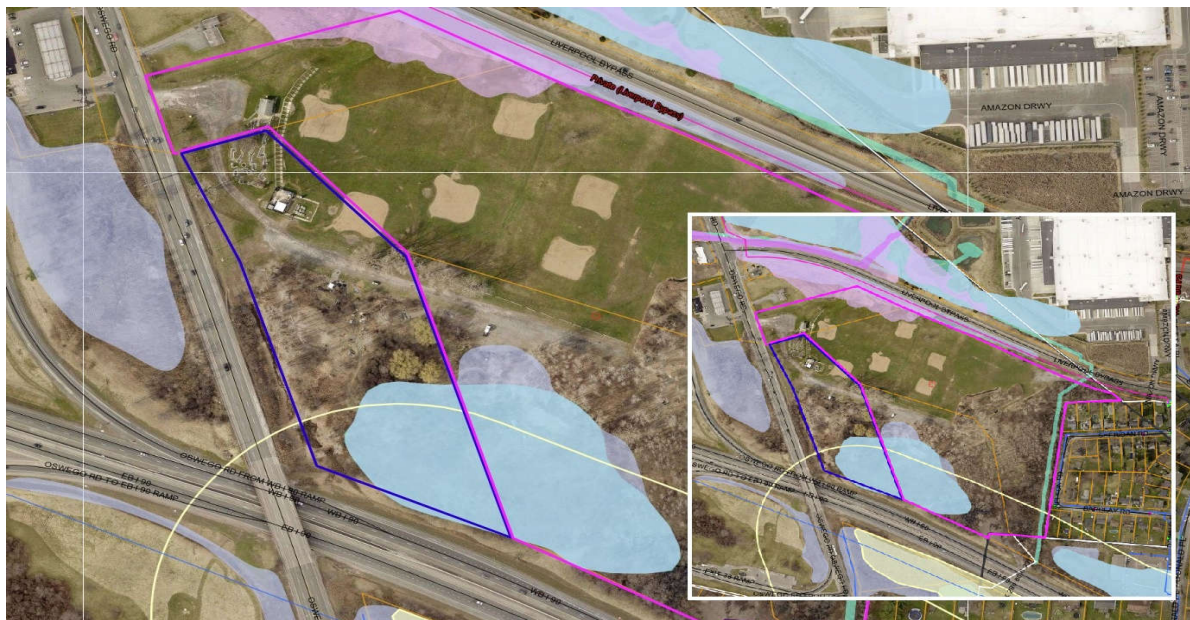
*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

Case Number: Z-25-333**Related Cases:****Referring Board:** Town of Salina
Zoning Board of
Appeals**Applicant:** Briad Development, LLC**Type of Action:** SITE PLAN**Location:** at Oswego Road**30-Day Deadline:** 11/26/2025**Tax ID:** 024.-01-36.0**JURISDICTION:**

General Municipal Law Section 239-m allows the County Planning Board to review approval of site plans and the site is located within 500 feet of Oswego Road (Route 91 / Old Route 57) and Liverpool Bypass (Route 88), both county highways, the NYS Thruway (Route 90), a state highway, and the municipal boundary between the Town of Salina and the Village of Liverpool

SUMMARY:

the applicant is proposing construction of a 6,975 sf 3-tenant commercial building on a portion of a site made up of four parcels totaling 36.60 acres, as part of a large mixed use development in a Planned Unit Development (PUD) zoning district.





STAFF REVIEW:

Past Board Reviews:	The Board has reviewed two previous referrals regarding this area. The Board offered No Position with Comment on the zone change referral (Z-23-149) to change the site to a Planned Unit Development (PUD), recommending the Town and Town improve the site design by adding a sidewalk network within the site, install sidewalks along Oswego Road, and landscape along road frontages around parking lots. More recently, the Board recommended Modification of plan referral (Z-23-298) to construct a large mixed-use development in the area, including 300 apartment units and multiple commercial spaces, advising the applicant to coordinate with the Onondaga County Department of Transportation (OCDOT), to submit a copy of the Stormwater Pollution Prevention Plan (SWPPP) to OCDOT and the NYS Thruway Authority (NYSTA) for review, and to submit a lighting plan to both OCDOT and NYSTA. The Board also encouraged the installation of a sidewalk network, extending sidewalks along road frontages, installation of bus stop infrastructure in coordination with Central New York Regional Transportation Authority (CENTRO) and advised the applicant to coordinate with the Onondaga County Department of Water Environment Protection (OCDWEP) regarding sewer infrastructure being extended to the site.
Location:	The subject parcel is one of four parcels in the Liverpool Bypass Planned Unit Development (PUD) which is contained on three sides by Oswego Road, Liverpool Bypass, and the NYS Thruway, abutting a single-family neighborhood to the west. The subject parcel has frontage on the Liverpool Bypass to the west and the NYS Thruway to the south. Per a conversation with the Town on 10/27/25, the exact lot lines for this parcel will change as development of the PUD progresses. The subject area for this referral is "Pad Site 3" as previously defined by the Overall Site Layout Plan dated 8/16/23 from site plan referral Z-23-298 where the Board reviewed the site plan for the whole PUD. Per aerial imagery from May 2025, the southern portion of the parcel is covered with trees and shrubs and the northern part of the parcel contains a portion of the former kickball complex.
Nearby Uses/Setting:	The site is located between the NYS Thruway, Oswego Road (County Route 88) and the Liverpool Bypass (County Route 88). An apartment complex, a single-family neighborhood, and an Amazon distribution facility are nearby. The eastern corner of the site is located in the Town of Clay - this review shall satisfy Clay County Planning Board review referral for both municipalities.
Proposed Site Layout:	The applicant is proposing construction of a gas station and a 6,975 sf building to contain a Circle K market, Jimmy John's, and Wendy's. Per the Site Layout Plan dated 10/9/25, the site will have fuel pumps, air, and vacuum machines along Oswego Road frontage. The building will be constructed behind the pump area with parking with a drive thru lane and bypass lane along the rear of the building. A dumpster enclosure will be located in the rear corner of the asphalt area. Per the Site Layout Plan, 12 spaces along the front of the building and 25 along the rear yard are proposed.

Access: Per the Site Layout Plan, the site will have direct right-in ingress from Oswego Road and full access via an interior road at the rear and northern sides of the site. Access to the site will be provided via a new internal road to be constructed adjacent to the site.

ADVISORY NOTE: Per the Onondaga County Department of Transportation, any existing or proposed driveways on Oswego Road must meet Department requirements.

Access: The previously referred Overall Site Layout Plan does not depict any direct access to either of the three commercial areas (PAD Sites 1, 2, and 3). The Overall Site Layout Plan depicts one full access driveway from Oswego Road and one full access driveway from the Liverpool Bypass providing access to the three commercial sites along the Oswego Road frontage and the residential area at the rear.

Bike/Ped/Transit: Per the Central New York Regional Transportation Authority (CENTRO), Oswego Road and Morgan Road have public transit service and bus stops are located adjacent to the site. The previously referred Overall Site Layout Plan dated 10/2014 depicted a network of sidewalks along the buildings, parking lots, and interior roads, but the sidewalks did not extend along the driveways to the public road. No sidewalks were depicted along public roadways. Per the Site Layout Plan for the current referral, sidewalks are depicted throughout the rest of the site, along the internal road, and along the Oswego Road frontage north of the site.

Drinking Water: New OCWA drinking water service is proposed to serve the site.

ADVISORY NOTE: The applicant is advised to contact OCWA's Engineering Department to determine the activities and structures permitted within OCWA easements/rights-of-way, water availability and service options, obtain hydrant test information, evaluate backflow prevention requirements, and/or request the Authority conduct hydrant flow testing to assess fire flow availability.

Watersheds: There is no existing public wastewater service to the site and a new connection to public sewers is proposed. The site is located in the Wetzel Road Wastewater Treatment Plant and Woodard Pump Station service areas. Per the Onondaga County Department of Water Environment Protection (WEP), the Woodard Pump Station is currently at capacity and is not able to accept any additional flow at this time. WEP is currently pursuing a multi-year project to increase station capacity.

ADVISORY NOTE: Capacity assurance approval from the Onondaga County Department of Water Environment Protection (OCDWEP) is required in advance of issuance of a plumbing permit from the County's Plumbing Control Division to connect into the public sewer system. Additionally, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form and approval process can be found online: <http://www.ongov.net/wep/CapacityAssuranceReviews.htm>

Floodplain/Floodway: FEMA Flood Insurance Rate Maps (FIRM) and submitted plans show an area of floodplain along the Liverpool Bypass, but not in the subject area.

ADVISORY NOTE: The Onondaga County Hazard Mitigation Plan has identified flooding as a natural hazard of local concern, with the potential to cause extensive threat to property and safety. Buildings within the floodplain can negatively impact the free flow of nearby waterways and drainage, and building within a floodplain is therefore discouraged.

Wetlands: GIS mapping shows approximately 4.7 acres of the PUD site may contain federal and/or NYS wetlands. It is not clear if the wetlands extend to the current subject area and wetlands are not depicted in the currently referred plans.

ADVISORY NOTE: Wetland regulations require the applicant to contact the Army Corps of Engineers and/or NYS Department of Environmental Conservation to confirm the presence of federal and/or state wetlands and/or the 100-foot wetland buffer on the site. All confirmed wetlands should be shown on the project site and any necessary permits should be obtained for any proposed development or placement of fill in a wetland, or drainage of any confirmed wetlands and buffers.

Historic Resources: The site or a portion of it is located in or adjacent to an area designated as a historic site for archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper).

ADVISORY NOTE: The applicant and/or municipality is advised to contact the Historic Preservation Office to determine if the project should be submitted to the Office for review as part of the State Environmental Quality Review (SEQRA).

Plants/Animals: The site may contain the Indiana Bat, or its associated habitat, which has been listed by the state or federal government as a threatened or endangered animal species (per EAF Mapper), impacts to bat species are often associated with clearing and from aerial imagery, it appears that some trees will be removed of the proposed project.

ADVISORY NOTE: Per the NYS Department of Environmental Conservation (DEC), if the site contains a threatened or endangered species and/or associated habitat, and the project requires review under the State Environmental Quality Review Act (SEQRA), a request for a project screening should be submitted to the New York Natural Heritage Program or to the regional DEC Division of Environmental Permits office.

Stormwater: Per the Environmental Assessment Form (EAF) dated 10/10/25, 1.65 acres of the site will be disturbed by the proposed project. Per the EAF, "stormwater management for the site has been included in the overall PUD development. A SWPPP has been prepared and an eNOI has been submitted for coverage under GP-O-25-001 (SPDES Permit ID NYR11P316)." The Stormwater Pollution Prevention Plan (SWPPP) and/or copy of the SPDES Permit were not included in the referral materials. Per the Site Layout Plan, multiple stormwater management areas are depicted on the PUD site surrounding the subject area, but none are depicted in the subject area.

ADVISORY NOTE: Any project that cumulatively disturbs one acre or more must be covered under the NYS SPDES Permit. The municipality is advised to ensure that the applicant has obtained the appropriate permits from the NY Department of Environmental Conservation prior to municipal approval.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

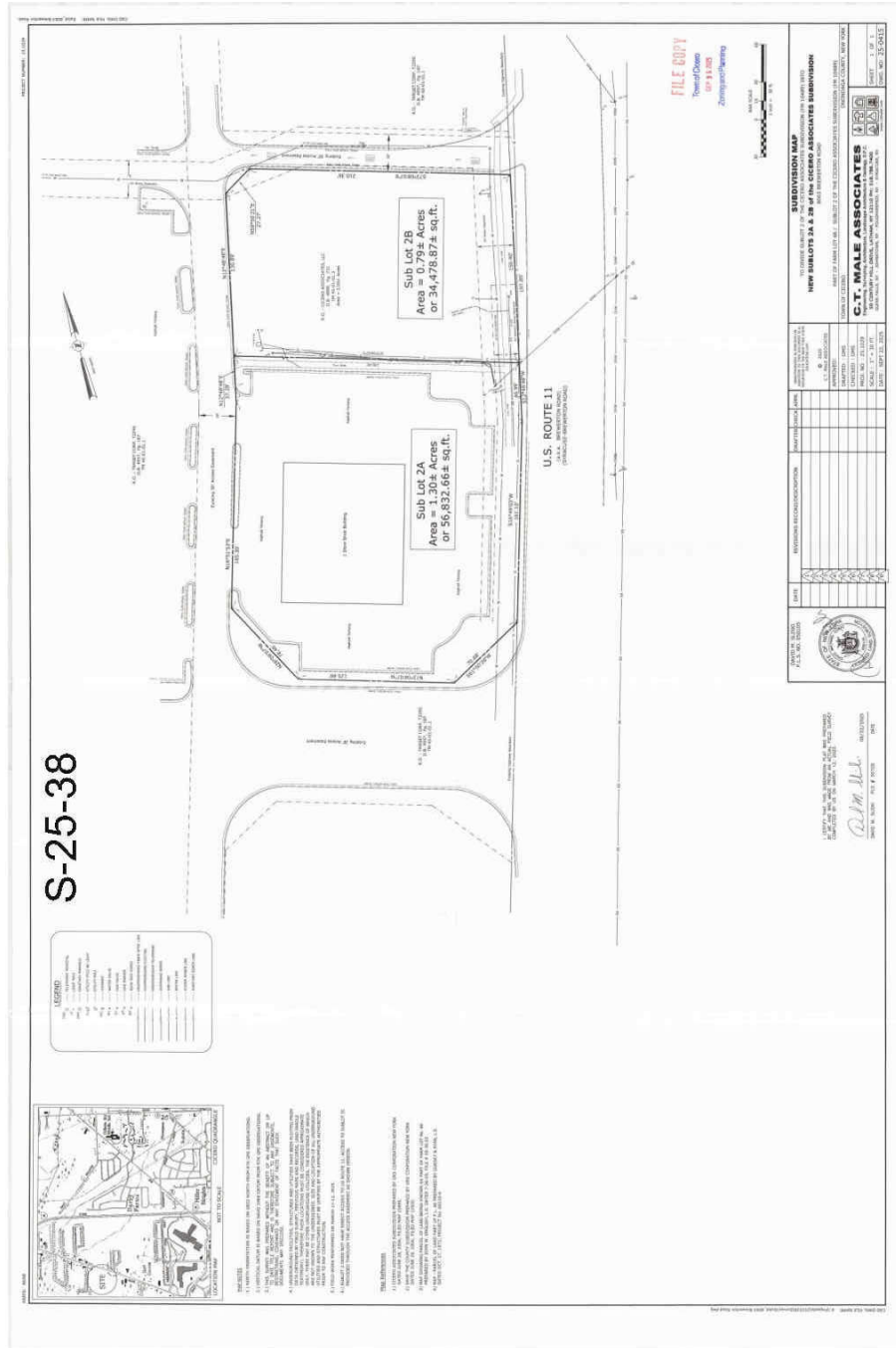
Case Number: S-25-38**Related Cases:****Referring Board:** Town of Cicero
Planning Board**Applicant:** Myron M. Hunt, LLC**Type of Action:** FINAL
SUBDIVISION**Location:** at 8063 Brewerton Road**30-Day Deadline:** 11/22/2025**Tax ID:** 045.-01-01.3**JURISDICTION:**

General Municipal Law Section 239-n allows the County Planning Board to review the approval of subdivisions and the site is located within 500 feet of Brewerton Road (Route 11), a state highway

SUMMARY:

the applicant is proposing to subdivide a 2.09-acre parcel into two new lots, Sub Lot 2A (1.30 acres) and Sub Lot 2B (0.79 acres), in a General Commercial (GC) zoning district





STAFF REVIEW:

Past Board Reviews:	The Board previously recommended Modification of a site plan referral (Z-2 for this proposed Canandaigua National Bank, advising the applicant to coordinate with the Onondaga County Water Authority (OCWA) to ensure no encroachment into the easement. Prior to that, the Board previously recommended Modification of plan referral (Z-08-34) to construct a 10,800 sf multi-tenant retail facility, and the applicant coordinate with the NYS Department of Transportation (NYSDOT) to submit a traffic study for the full build-out to the Department.
Concurrent Reviews:	The Board is also reviewing a site plan for a proposed Discount Tire store (Z-25-326) to be located across Brewerton Road from the site, in front of the existing Walmart store.
Nearby Uses/Setting:	The site is located within an existing retail plaza along Brewerton Road, corner of a Target store and Brewerton Road (NYS Route 11). The area is characterized by smaller scale commercial parcels along the Brewerton Road frontage, back of a big box commercial.
Existing Site Layout:	The site is a 0.88-acre parcel containing a multi-tenant retail commercial building on the southern portion of the site with parking lots along the sides and between the building and the Brewerton Road frontage. A vacant lawn occupies the northern side of the site, where the bank project is proposed.
Proposed Site Layout:	Per the Subdivision Map dated 9/22/25, the existing commercial building and parking lots will be split into proposed Sub Lot 2A (1.30 acres) with the existing building and the existing lawn will become proposed Sub Lot 2B (0.79 acres). The proposed Canandaigua National Bank will be located on Sub Lot 2B.
Project Detail:	Per the Overall Site Plan dated 06/04/25 included with the previous referral the applicant is proposing to construct a 3,000 sf commercial bank building with drive-thru lanes located on the western side of the proposed building; the site will include 25 parking spaces including two accessible parking spaces. Access to the site is via the existing Target parking lot. The proposed bank site will feature grass and curbing around the proposed driveway with landscaping along Brewerton Road. The site plan shows an existing sidewalk along Brewerton Road and an existing sidewalk along the south boundary of the proposed bank building and parking lot.
Access:	The site has access to Brewerton Road via the Target Plaza which has a full driveway to Brewerton Road, south of the site, along with an ingress-only driveway north of the site's parcel boundary. The Plaza has additional access from Brewerton Road via cross connections to adjacent commercial parcels to the north and south with their own access to Brewerton Road, NYS Route 11. No new driveway to Brewerton Road are currently proposed.

ADVISORY NOTE: Per the NYS Department of Transportation, no additional access to Brewerton Road will be permitted.

Easements:	Per the Subdivision Map, a 30'-wide water easement runs along the eastern boundary of the site, adjacent to the Brewerton Road frontage. A 20'-wide sewer easement also runs along a portion of the eastern boundary of the property. ADVISORY NOTE: Per the Onondaga County Department of Water Environment Protection (WEP), no permanent structures are permitted within the County easement. Any other work within the County easement must be coordinated with WEP.
Stormwater:	Per the Environmental Assessment Form (EAF) dated 9/25/25, 0.79 acres of the site will be disturbed by the proposed project and "stormwater will be conveyed by pipes, sheet flow and drainage structures into existing stormwater facilities." ADVISORY NOTE: Per the NYS Department of Transportation, additional stormwater runoff into the state's drainage system is prohibited.
Drinking Water:	Per the referral notice, a new connection to public drinking water is proposed to serve the bank. Per the referral notice the bank is anticipated to require an extension to the existing service. ADVISORY NOTE: The applicant is advised to contact OCWA's Engineering Department to determine the activities and structures permitted within OCV easements/rights-of-way, water availability and service options, obtain hydrant test information, evaluate backflow prevention requirements, and/or request the Authority conduct hydrant flow testing to assess fire flow availability. ADVISORY NOTE: The applicant is advised to contact OCWA's Engineering Department to determine the activities and structures permitted within OCV easements/rights-of-way, water availability and service options, obtain hydrant test information, evaluate backflow prevention requirements, and/or request the Authority conduct hydrant flow testing to assess fire flow availability.
Wastewater:	Per the referral notice, a new connection to public sewers is proposed to serve the bank. The site is located in the Oak Orchard Treatment Plant and Davis Road Pump Station service area. ADVISORY NOTE: Capacity assurance approval from the Onondaga County Department of Water Environment Protection (OCDWEP) is required in advance of issuance of a plumbing permit from the County's Plumbing Control Division to connect into the public sewer system. Additionally, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project in coordination with the municipal engineer. The Capacity Assurance Form and approval process can be found online: http://www.ongov.net/wep/CapacityAssuranceReviews.htm
Bike/Ped/Transit:	Per the Central New York Regional Transportation Authority (CENTRO), there is no public transit service and bus stops are located to the south of the site. Brewerton Road, located at Brewerton Road & Walmart Access Road, is less than a mile from the proposed site.
Other:	The project is within 2,000 feet of a site (ID: V00150) in the NYS Department of Environmental Conservation's (DEC) 100-foot buffer zone.

Environmental Conservation Environmental Site Remediation database (per Mapper).

**Historic
Resources:**

The site or a portion of it is located in or adjacent to an area designated as for archaeological sites on the NYS Historic Preservation Office archaeological inventory (per EAF Mapper).

ADVISORY NOTE: The applicant and/or municipality is advised to contact Historic Preservation Office to determine if the project should be submitted Office for review as part of the State Environmental Quality Review (SEQR

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

Staff Reports for GML Section 239 Referrals

Z-25-324

Case Number:	Z-25-324	Related Cases:
Referring Board:	Town of Cicero Town Board	Applicant: Town of Cicero
Type of Action:	TEXT AMENDMENT	Location:
30-Day Deadline:	11/22/2025	Tax ID:

JURISDICTION:

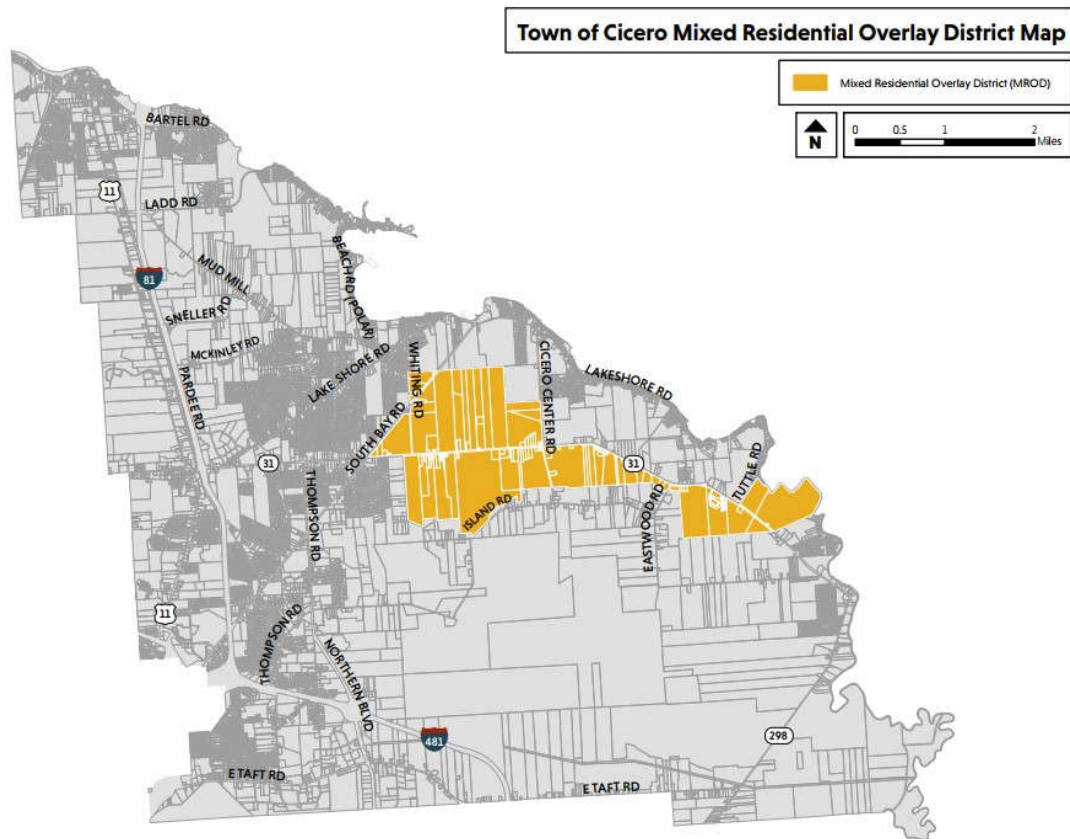
General Municipal Law Section 239-m allows the County Planning Board to review the adoption or amendment of a zoning ordinance or local law and

SUMMARY:

the applicant is proposing to amend Chapter 210: Zoning of the Code of the Town of Cicero, to include a new article, Article XVIII: Mixed Residential Overlay District, to better manage and accommodate residential growth and development along a portion of NYS Route 31 and South Bay Road, and the local law also includes an amendment to Article XIII to expand the boundary of the Hamlet Gateway Overlay District

No Map Available

No Map Available



STAFF REVIEW:

Proposed Text: Per the proposed language § 210-111 of the Town Code, the purpose of the proposed Mixed Residential Overlay District (MROD) is to better manage and accommodate residential growth and development along portions of New York State Route 31 and South Bay Road by increasing the flexibility of allowable uses while requiring well-considered and integrated building and site design to foster mixed residential development that supports the housing needs of the Town while preserving the existing rural character of the area.

Proposed Text: Per the proposed language of § 210-112, the MROD regulations will apply to parcels within the defined boundaries of the MROD, as shown on the Mixed Residential Overlay District Map. The regulations will apply to the subject parcels in addition to all other existing regulations of the Town. Where a conflict arises between the MROD regulations and other town regulations the MROD regulations will take precedence. Where the requirements of this Article conflict with the requirements of Article XV (Design Standards), the more stringent requirements shall apply.

Proposed Text: Per the proposed language of § 210-113, certain uses and actions allowable under the proposed MROD regulations may be subject to additional local development review including, but not limited to, building permits and certificates of occupancy, special use permits, and site plan review.

Proposed Text: Per the proposed language of § 210-113, all uses are required to obtain site review approval in accordance with Article VII of the Zoning of the Code of the Town of Cicero. Uses that are exempt from this requirement include new construction of single-family dwelling units on a lot that has already received approval, the expansion or rehabilitation of an existing residential structure and simple subdivisions.

Proposed Text: § 210-114 establishes a permitted uses table that identifies allowable uses, including accessory dwelling units, assembly spaces, libraries and museums are permitted as-of right; the ordinance also lists allowable uses including non-residential development and recreation facilities that are permitted with the issuance of a Special Use permit. Uses not expressly listed are expressly prohibited, otherwise permitted within the underlying district.

Proposed Text: § 210-115 of the proposed amendment establishes the criteria for mixed residential developments within the overlay district. The section establishes a minimum of 10 acres for mixed residential development, requires clustering of units, requires that all units be served by public water, requires a mixture of uses within the development and requires that no more than 40% of units within the development be single- and two-family dwellings. The section establishes a maximum building height of 55 feet and three stories with a maximum density of 10 dwelling units per acre for the entirety of the mixed residential development area. This section

establishes requirements relating to community amenities including open space requirements, community center space requirements, pedestrian connectivity requirements and transitional density standards.

Proposed Text: § 210-115 of the proposed amendment also allows the Planning Board to establish dimensional requirements through site plan review.

Proposed Text: § 210-116 of the proposed amendment empowers the Planning Board, as a condition of site plan review, to require the creation of public amenities, where such use would be consistent with the Town's adopted plans and studies and would create a significant benefit to the health, safety, and general welfare of the public relative to the burden placed upon the property owner or developer. Such public amenities may include, but are not limited to, gathering spaces, right-of-way improvements and streetscape elements such as lighting, furniture, and public art. Any provision for public access would be prescribed by easement or deed for public access.

Proposed Text: §210-117 of the proposed amendment establishes design and development standards within the MROD. §210-117 establishes residential subdivision standards that innumerate several design criteria including: requiring that the garage be the dominant feature of the front of the dwelling. Usable covered front porch should be provided and requires that a minimum roof pitch of 4'/12' should be provided. The section also places requirements for the quality of materials and variation of materials and places limitations on the use of reflective and bright materials.

Proposed Text: §210-117 of the proposed amendment also establishes design standards for residential and multi-family uses and establishes a prohibition of certain building materials including Vinyl under 0.048" in thickness, fiberglass, plastic paneling, coated or corrugated aluminum, mirrored glass, concrete block, unfinished brick, and stone.

Proposed Text: §210-117 of the proposed amendment also establishes regulations for the screening of parking areas and mechanical equipment and rooftop mounted equipment.

Proposed Text: §210-118 of the proposed amendment establishes regulations relating to access to Route 31 or South Bay Road, allowing one point of direct or indirect access to the public roadway system for each parcel and allowing an additional access point for parcels with frontage greater than 500 feet, with a determination from the New York State Department of Transportation and/or Onondaga County Department of Transportation that such access will not be detrimental to roadway safety, capacity, or function. This section prohibits individual property access to Route 31 or South Bay Road where alternative access is available and establishes that where multiple parcels are developed as a single project they will be treated as a single parcel for the purposes of determining the permitted number of access points. §210-118 regulates minimum driveway spacing, joint and cross access, minimum corner clearance, shared access and pedestrian access. The section takes a holistic approach to accessing appropriate driveway access viewing developments

more than one parcel as a single property. Per the section, Where multiple are developed as a single project they are treated as a single parcel for the purposes of determining the permitted number of access points.

Proposed Text: §210-119 of the proposed amendment 210-119 establishes regulations for location and design that requires consistency with NYSDOT and/or OCDOT standards for sight distance and states that the NYSDOT and/or OCDOT, in coordination with the Town of Cicero, may require turn lanes where deemed necessary due to traffic volumes or where a safety or operational problem exists. This section also enumerates general standards and guidelines for driveway location and design.

Proposed Text: § 210-120 of the proposed amendment establishes observation and inspection requirements for the installation or improvements of any development in the Town. This section establishes inspection or observation requirements for all stages of development, requiring the developer to grant free access to the parcel for inspection purpose. Pursuant to this section the cost burden associated with inspection including all costs of observation, including testing of materials, is shifted to and borne solely by the developer. The developer is required to provide this sum to the Town in the form of a letter of credit or cash prior to the beginning of the project, the Town Board require the applicant to furnish a letter of credit or cash for the faithful performance of the plan and specifications as finally approved. The letter of credit shall be held by the Town for an initial minimum period of three years.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

Case Number: Z-25-329

Related Cases:

Referring Board: Town of DeWitt
Zoning Board of
Appeals

Applicant: 3180 Erie Blvd. East

Type of Action: AREA VARIANCE

Location: at 3180 Erie Boulevard East

30-Day Deadline: 11/26/2025

Tax ID: 044.-06-08.0

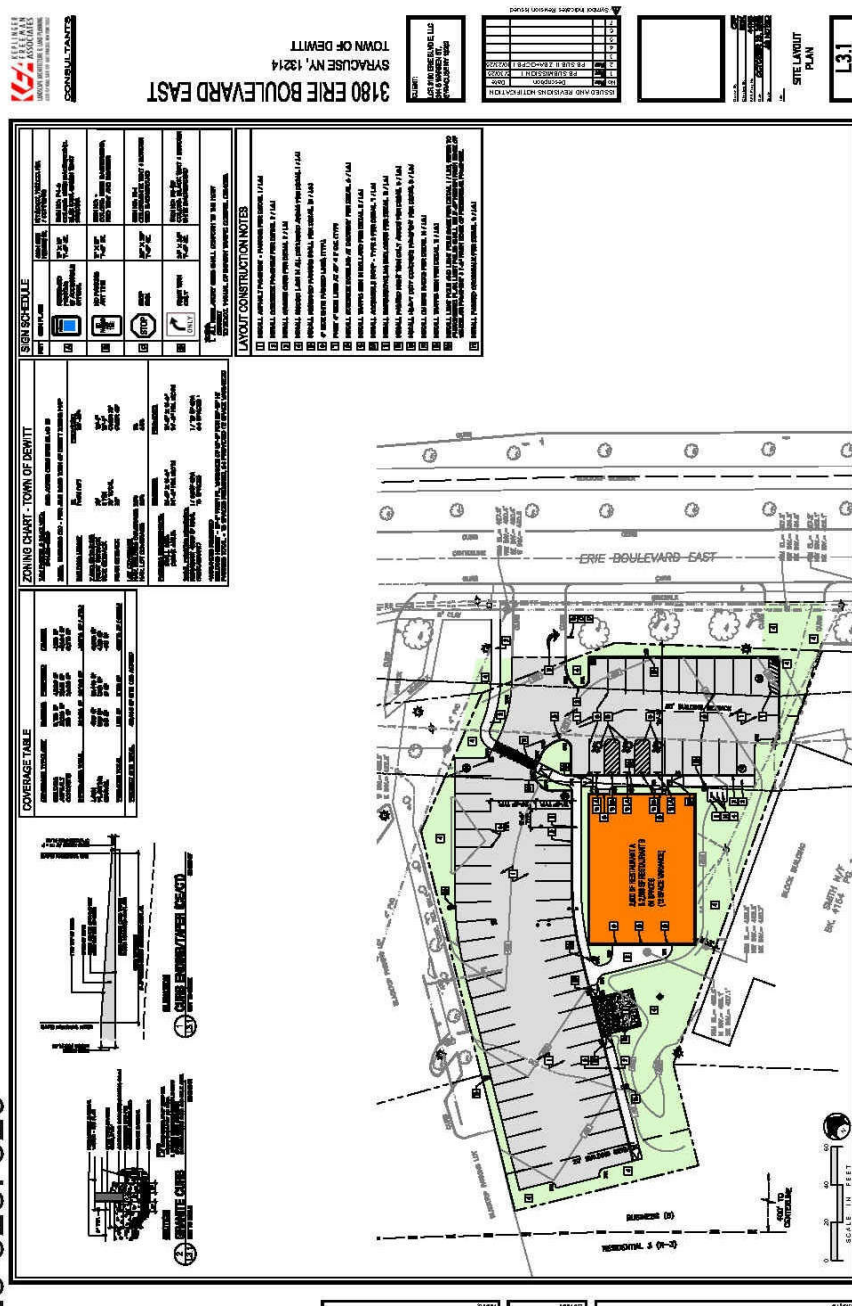
JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review the granting of use or area variances and the site is located within 500 feet of Erie Boulevard East (Route 5), a state highway

SUMMARY:

the applicant is requesting area variances for building height and reduction in parking related to the construction of a 4,500 sf building that will house two restaurant tenants on a 0.99-acre parcel in a Business zoning district





STAFF REVIEW:

Past Board Reviews:	The Board previously recommended Modification of a site plan referral (Z-25-329) to renovate the existing building to use as a medical marijuana dispensary, the applicant to provide a lighting plan to the NYS Department of Transport and encouraging a reduction in parking, increase in landscaping, and additional bicycle accommodations on site.
Concurrent Reviews:	The Board is concurrently reviewing a site plan referral (Z-25-328) to demolish existing building and construct a new restaurant building.
Nearby Uses/Setting:	The site is located among the commercial uses lining Erie Boulevard East (Route 5). An apartment complex and residential neighborhoods are located to the rear of the site. Standalone commercial and commercial plazas are located on either side of Erie Boulevard East in this area. Nearby uses include a furniture store, a fast food restaurant, a spa, fitness centers, and a bicycle store.
Existing Site Layout:	The site contains a former restaurant building surrounded on all sides by an asphalt parking lot.
Proposed Site Layout:	Per the referral materials, the applicant is proposing demolition of the existing building and construction of a new 4,500 sf building to house two restaurants along with reconstruction of the parking lot and adding landscaping. Per the Site Layout Plan dated 10/23/25, the proposed building will be positioned in approximately the same location as the existing restaurant with a 64-space parking lot located on the northern and eastern sides of the building. A dumpster enclosure will be located to the rear of the restaurant building. Sidewalks will be installed along the parking lot and will connect to sidewalks along the Erie Boulevard East.
Variances:	The applicant is requesting two area variances: to allow the proposed building to be 20'10" high when Town Code limits the building to 10'2" ("one foot vertically and one foot horizontally, until the horizontal distance is greater than or equal to 10 feet" per Town Code) and to allow the proposed 64-space parking lot when 48 spaces are required by Code.
Access:	The site has two existing driveways to Erie Boulevard East along with a possible cross connection to Erie Boulevard East via an adjacent parcel to the south. Per the Site Layout Plan dated 10/23/25, the southern driveway to Erie Boulevard East and the cross connection will be closed, leaving one driveway to Erie Boulevard East. ADVISORY NOTE: Per the NYS Department of Transportation, all existing and proposed driveways on Erie Boulevard East must meet Department requirements.
Lighting:	A Site Photometric Plan dated 10/23/25 was included with the referral materials.
Landscaping:	Per a Site Planting Plan dated 10/23/25, five trees will be installed adjacent to the parking lot and shrubbery and plantings will be installed around the building.

dumpster enclosure. Existing trees along the road frontage will be retained.

Drinking Water: The site is served by public drinking water and a new connection would be for the new building.

ADVISORY NOTE: The applicant is advised to contact OCWA's Engineering Department to determine the activities and structures permitted within OCV easements/rights-of-way, water availability and service options, obtain hydrant test information, evaluate backflow prevention requirements, and/or request Authority conduct hydrant flow testing to assess fire flow availability.

Wastewater: The site is served by public sewers and is located in the Metropolitan Wastewater Treatment Plant service area and the new restaurant building will require a connection.

ADVISORY NOTE: Per the Onondaga County Department of Water Environment Protection, any and all demolition of buildings requires a permit for sewer disconnects. The applicant must contact Plumbing Control to ensure appropriate permits are obtained.

ADVISORY NOTE: The Onondaga County Department of Water Environment Protection (OCDWEP) requires capacity assurance due to an anticipated increase in use. Additionally, unless it can be demonstrated that anticipated sanitary flow will not exceed previous flows in excess of one sewer unit over prior uses, the applicant must develop a 1 gallon to 1 gallon sanitary flow offset plan/project coordination with the municipal engineer. The Capacity Assurance Form and approval process can now be found online: <http://ongov.net/wep/connection>

Watersheds: The site is located in an Onondaga County Drainage District for Bear Trap Creek, which is maintained by the Department of Water Environment Protection in this area.

Plants/Animals: The site may contain the Northern long-eared bat, or its associated habitat, has been listed by the state or federal government as a threatened or endangered animal species (per EAF Mapper). Impacts to bat species are often associated with tree clearing and from the plans it appears that no trees will be removed as part of the proposed project.

Other: The project is within 2,000 feet of a site (ID: C734108) in the NYS Department of Environmental Conservation Environmental Site Remediation database (per EAF Mapper).

Stormwater: Per the Environmental Assessment Form (EAF) dated 9/9/25, 0.67 acres of land will be disturbed by the proposed project and stormwater will be directed to "municipal system from on site structures." Per the Site Plan, it appears the proposed changes to the site will result in significant areas currently covered by asphalt converted to lawn.

Staff Reports for GML Section 239 Referrals

Z-25-329

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

Staff Reports for GML Section 239 Referrals

Z-25-318

Case Number:	Z-25-318	Related Cases:
Referring Board:	Town of Otisco Town Board	Applicant: Town of Otisco
Type of Action:	LOCAL LAW	Location:
30-Day Deadline:	11/14/2025	Tax ID:

JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review the adoption or amendment of a zoning ordinance or local law

SUMMARY:

The applicant is proposing a "Setback" Local Law of 2025 to establish uniform setback requirements for permanent structures in the Town of Otisco in order to protect public safety, preserve community character and promote the orderly development of land in the Town

No Map Available

No Map Available

No Map Available

STAFF REVIEW:

Concurrent Reviews: The Board is concurrently reviewing two other local law referrals (Z-25-319, 320), a proposed law to regulate the use of generators and a proposed moratorium on commercial and industrial construction within the Town.

Proposed Text: Per the proposed law, “the Town of Otisco finds that the placement of permanent structures in close proximity to roads and property lines may: (i). Create safety hazards for motorists, pedestrians, and emergency responders; (ii). Contribute to disputes among adjoining landowners; (iii). Impede access for fire protection and emergency services; (iv). Diminish the rural, agricultural, and lakeside character of the Town; and (v). Negatively impact aesthetics, privacy, and property values. The intent of this Local Law is to establish clear and consistent setback standards for such facilities, in order to protect public safety, ensure efficient site design, as well as to ensure safe ingress and egress of large trucks and machinery from roads”.

Proposed Text: The proposed law “shall apply to all new permanent structures and to any additions or expansions of existing permanent structures”. All legally constructed structures erected prior to the enactment of this proposed law will be considered “lawfully existing nonconforming uses”.

Proposed Text: The proposed law provides definitions including Residential Structure, Commercial Structure, Industrial Structure, Accessory Structure, Loading Docks, and Loading Areas.

Proposed Text: The proposed setback requirements are divided into three categories: required setbacks from Roads, Property Lines, and Conflicting Requirements.

Proposed Text: Per the proposed law, the setback from the road for all permanent structures shall be a minimum of 40’.

Proposed Text: Proposed setbacks from property lines are defined by category: residential structures and residential accessory structures will have a 10’-minimum setback from “any side or rear property line”, agricultural structures and commercial structures and their accessory structures will have a 30’-minimum setback from side or rear property lines, and industrial structures and their accessory structures will have a 40’-minimum setback from side or rear property boundaries.

Proposed Text: Proposed setbacks for all “Loading Docks and Loading Areas servicing Agricultural Structures, Commercial Structures, Industrial Structures, and their Accessory Structures, shall be set back a minimum of one hundred (100) feet from any County or State-maintained Road, unless County or State restrictions require greater setbacks. The required setback shall be measured from the outermost edge of the apron of the Loading Dock or Loading Area”. The Town Board may require a greater setback where conditions require it to ensure “trucks and equipment

maneuver safely within the site plan". Conversely, the Town Board may allow reduced setback if "the proposed use will not involve tractor-trailers or similar vehicles".

Proposed Text: The Town Code Enforcement Officer will be responsible for administering and enforcing the proposed law.

Proposed Text: Variances from setback requirements may be requested in writing to the Town Clerk. Variances are granted only by the Town Board.

ADVISORY NOTE: Per GML § 239-nn, the legislative body or other authority of a municipality having jurisdiction in a municipality shall give notice to an adjacent municipality when a hearing is held by such body relating to a subdivision, a special use permit, or a use variance on property that is within five hundred feet of an adjacent municipality. Such notice shall be given by mail or electronic transmission to the clerk of the adjacent municipality at least ten days prior to such hearing.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

Staff Reports for GML Section 239 Referrals

Z-25-319

Case Number:	Z-25-319	Related Cases:
Referring Board:	Town of Otisco Town Board	Applicant: Town of Otisco
Type of Action:	LOCAL LAW	Location:
30-Day Deadline:	11/14/2025	Tax ID:

JURISDICTION:

General Municipal Law Section 239-m allows the County Planning Board to review the adoption or amendment of a zoning ordinance or local law

SUMMARY:

The applicant is proposing a "Generator" Local Law to establish uniform standards and procedures governing the siting, installation, operation and maintenance of generators in the Town of Otisco in order to protect public safety, preserve community character and promote the orderly development of land in the Town

No Map Available

No Map Available

No Map Available

STAFF REVIEW:

Proposed Text: Per the proposed law, the Town has concerns regarding the “siting, installation, operation of generators” creating potential “fire, electrical, and explosion hazards, creating a nuisance with noise and vibration, interfering with emergency services, “diminish the rural, agricultural, and lakeside character of the Town if not properly buffered, screened or located”, or “negatively impact aesthetics, privacy, and property values”. These concerns have spurred the Town to establish “uniform standards and procedures governing the siting, installation, operation, and maintenance of generators.”

Proposed Text: Definitions including Combustible Materials, Decibel, Flammable Materials, Generator, NFPA, Residential Structure, and Uniform Code are provided in proposed law. Generators are divided into “Portable”, “Residential”, and “Agricultural, Commercial or Industrial” Generator groups. Residential Generators are classified as being rated between 7.5 kW and 26 kW and generators rated greater than 26 kW will be treated as a Commercial Generator.

Proposed Text: The installation, replacement, or relocation of non-portable generators will require a building permit. Generators will be classified as “Residential Standby Generators (Generators Rated 26 kW or less)” or “Agricultural, Commercial, Industrial Generators (Generators Rated Greater than 26 kW)” and will have specific submittal requirements to obtain a permit.

Proposed Text: Generators must adhere to required setbacks and clearances along with a minimum 10’-setback from all “Property Lines, easements, Rights-of-Way, Combustible or Flammable Materials and openings in walls”. Agricultural, Commercial or Industrial Generators with a capacity up to 75kW will have a setback of 30’ and generators with a capacity greater than 75kW will have a setback

Proposed Text: Generators will be prohibited beneath windows or structure opening, beneath porches, within 10’ of any window or structural opening, within living spaces within enclosed structures. Generators are restricted to a maximum sound level of 50dBA and 60dBC.

Proposed Text: Generators will be subject to installation standards, inspections, and will require certification by the Code Enforcement Officer.

Proposed Text: Variances may be requested in writing to the Town Clerk and reviewed by the Board.

Other:

ADVISORY NOTE: Per GML § 239-nn, the legislative body or other authority having jurisdiction in a municipality shall give notice to an adjacent municipality when a hearing is held by such body relating to a subdivision, §

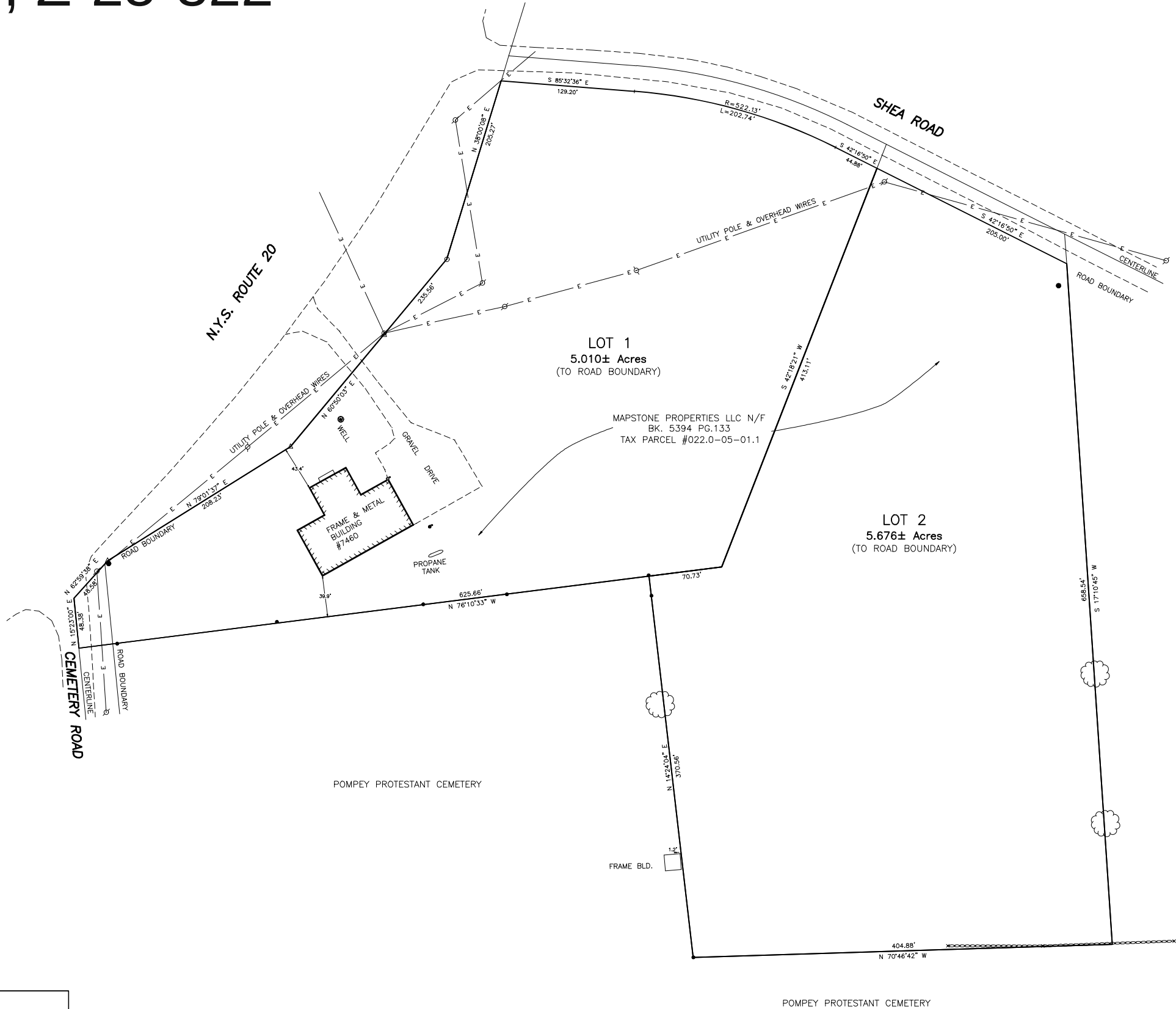
special use permit, or a use variance on property that is within five hundred feet of an adjacent municipality. Such notice shall be given by mail or electronic transmission to the clerk of the adjacent municipality at least ten days prior to such hearing.

*For agency contacts and additional information about advisory notes, please visit:
<http://ongov.net/planning/ocpb.html>*

S-25-37, Z-25-322



LOCATION MAP
NOT TO SCALE



PHILLIP DONAHUE N/F
INSTR. #2019-46269

- LEGEND
- ⊙ CAPPED IRON ROD TO BE SET
 - TREE
 - STONE WALL
 - △ MONUMENT
 - FENCE POST

MAP REFERENCE:
MAP TITLED "COMBINING TAX PARCELS 20.-05-01 & 10"
DATED 11/28/2000 AND PREPARED BY DAVID A.
VREDENBURGH BEARING JOB #00-122.2-P

MUNICIPAL APPROVAL
APPROVED TOWN OF POMPEY

Only survey maps with the surveyor's
embossed seal are genuine, true and
correct copies of the surveyor's original
work and copies.
Unauthorized alteration or addition to a survey map
bearing a licensed land surveyor's seal is a violation
of sect. 7200, subsection 2, of the New York State
Education Law.
The certification is limited to the person for
whom the survey map is prepared and on its behalf
to the landowner, governmental agency, and the
lending institution listed herein. Certification are not
transferable to additional institutions or subsequent owners.
The location of underground improvements, structures, and utilities
are not covered by this certificate.

APPROVAL: _____
BY OWNER
MAPSTONE PROPERTIES LLC (JON MAPSTONE)

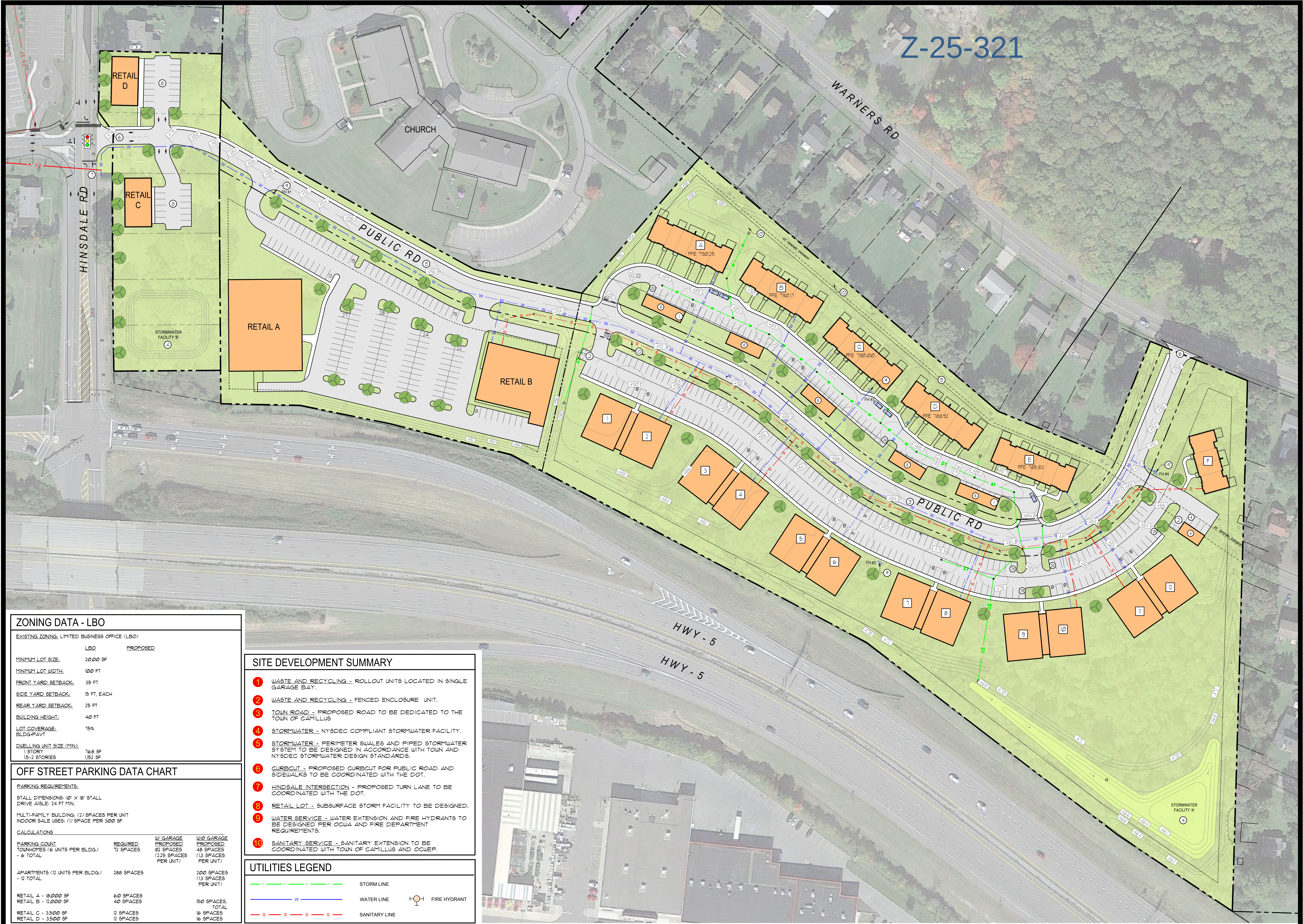
The undersigned surveyor hereby certifies that
this map was made from an actual field survey
completed on 05/20/2024, using the references
and evidence shown herein.
Forrest L. SeGuin, PLS - N.Y.S. LIC. NO. 050384
SUBJECT TO THE FINDINGS OF AN UP-TO-DATE ABSTRACT OF TITLE.



SUBDIVISION MAP MAPSTONE PROPERTIES, LLC PART OF LOT 65 - TOWN OF POMPEY ONONDAGA COUNTY, NEW YORK	
SURVEY AND MAP PREPARED BY: SeGUIN LAND SURVEYING, P.L.L.C. FORREST L. SEGUIN, L.S. 6197 DYKE ROAD, CHITTENANGO, N.Y. 13037 PHONE: (315) 263-1642 FAX: (315) 687-0002	SCALE: 1" = 50' DATE: 06/25/2025 PROJECT NO. 24100 TAX MAP NO. 22.0-05-1.1 DWG. POMPEY 22-05-1.1.....



Z-25-321



ZONING DATA - LBO		
EXISTING ZONING: LIMITED BUSINESS OFFICE (LBO)		
	LBO	PROPOSED
MINIMUM LOT SIZE:	10,000 SF	
MINIMUM LOT WIDTH:	100 FT	
FRONT YARD SETBACK:	35 FT	
SIDE YARD SETBACK:	15 FT, EACH	
REAR YARD SETBACK:	25 FT	
BUILDING HEIGHT:	40 FT	
LOT COVERAGE: BLDG+PAV:	75%	
DWELLING UNIT SIZE (MIN.):	168 SF	
	15-2 STORIES	

OFF STREET PARKING DATA CHART		
PARKING REQUIREMENTS:		
STALL DIMENSIONS: 10' X 18' STALL DRIVE AISLE: 24 FT MIN.		
MULTI-FAMILY BUILDING: (2) SPACES PER UNIT INDOOR SALE USES: (1) SPACE PER 300 SF		
CALCULATIONS		
PARKING COUNT: TOWNHOMES (16 UNITS PER BLDG.) - 6 TOTAL	REQUIRED: 12 SPACES	W/O GARAGE PROPOSED 80 SPACES (225 SPACES PER UNIT)
APARTMENTS (12 UNITS PER BLDG.) - 12 TOTAL	280 SPACES	200 SPACES (13 SPACES PER UNIT)
RETAIL A - 18,000 SF	60 SPACES	150 SPACES, TOTAL 16 SPACES 16 SPACES
RETAIL B - 12,000 SF	40 SPACES	
RETAIL C - 35,000 SF	12 SPACES	
RETAIL D - 35,000 SF	12 SPACES	

- SITE DEVELOPMENT SUMMARY**
 - WASTE AND RECYCLING - ROLLOUT UNITS LOCATED IN SINGLE GARAGE BAY.
 - WASTE AND RECYCLING - FENCED ENCLOSURE UNIT.
 - TOWN ROAD - PROPOSED ROAD TO BE DEDICATED TO THE TOWN OF CAMILLUS
 - STORMWATER - NYSDEC COMPLIANT STORMWATER FACILITY.
 - STORMWATER - PERIMETER SWALES AND PIPED STORMWATER SYSTEM TO BE DESIGNED IN ACCORDANCE WITH TOWN AND NYSDEC STORMWATER DESIGN STANDARDS.
 - CURBOUT - PROPOSED CURBOUT FOR PUBLIC ROAD AND SIDEWALKS TO BE COORDINATED WITH THE DOT.
 - HINSDALE INTERSECTION - PROPOSED TURN LANE TO BE COORDINATED WITH THE DOT.
 - RETAIL LOT - SUBSURFACE STORM FACILITY TO BE DESIGNED.
 - WATER SERVICE - WATER EXTENSION AND FIRE HYDRANTS TO BE DESIGNED PER OCWA AND FIRE DEPARTMENT REQUIREMENTS.
 - SANITARY SERVICE - SANITARY EXTENSION TO BE COORDINATED WITH TOWN OF CAMILLUS AND OCWEP.
- UTILITIES LEGEND**

1"

1"

1"

1"

STORM LINE

1"

1"

1"

1"

W

WATER LINE

1"

1"

1"

1"

S

SANITARY LINE

1"

1"

1"

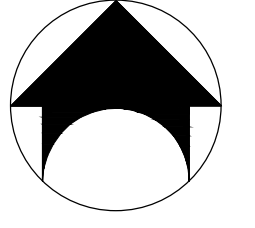
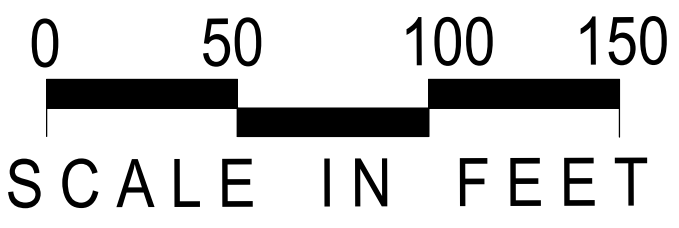
1"

FIRE HYDRANT

CONCEPT SITE PLAN B

CAMILLUS APARTMENTS AND RETAIL

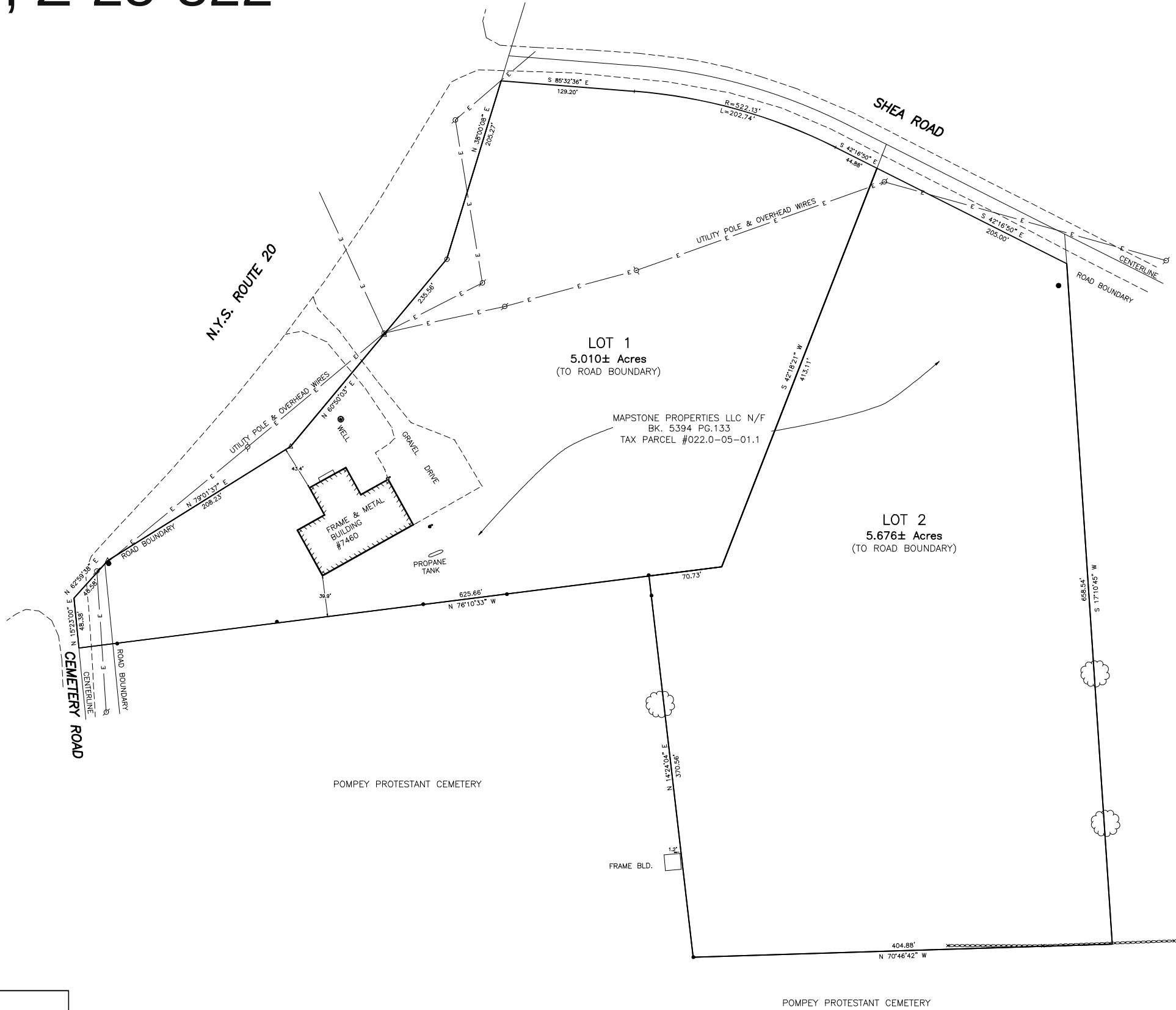
OCTOBER 01, 2025



S-25-37, Z-25-322



LOCATION MAP
NOT TO SCALE



PHILLIP DONAHUE N/F
INSTR. #2019-46269

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MUNICIPAL APPROVAL
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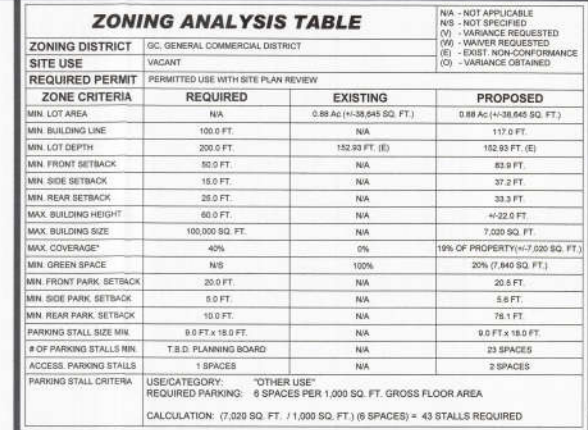
Only survey maps with the surveyor's
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transferable to additional institutions or subsequent owners.
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are not covered by this certificate.

APPROVAL: _____
BY OWNER
MAPSTONE PROPERTIES LLC (JON MAPSTONE)

The undersigned surveyor hereby certifies that
this map was made from an actual field survey
completed on 05/20/2024, using the references
and evidence shown herein.
Forrest L. SeGuin, PLS - N.Y.S. LIC. NO. 050384
SUBJECT TO THE FINDINGS OF AN UP-TO-DATE ABSTRACT OF TITLE.



SUBDIVISION MAP	
MAPSTONE PROPERTIES, LLC PART OF LOT 65 - TOWN OF POMPEY ONONDAGA COUNTY, NEW YORK	
SURVEY AND MAP PREPARED BY: SeGUIN LAND SURVEYING, P.L.L.C. FORREST L. SEGUIN, L.S. 6197 DYKE ROAD, CHITTENANGO, N.Y. 13037 PHONE: (315) 263-1642 FAX: (315) 687-0002	SCALE: 1" = 50' DATE: 06/25/2025 PROJECT NO. 24100 TAX MAP NO. 22.0-05-1.1 DWG. POMPEY 22-05-1.1....



*THAT PERCENTAGE OF THE LOT AREA COVERED BY THE AREA OF ANY BUILDING AND SHALL INCLUDE PORCHES, VERANDAS, CARPORTS AND THE LIKE WHICH HAVE ROOFS.

SITE NOTES

(REV. 5/2024)

1. ALL CONCRETE MUST BE UNFRAINED AND INCLUDE THE MINIMUM COMPRESSIVE STRENGTH OF JURISDICTIONAL STANDARD PSI AT DAYS (0.400 PSI) UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLANS, DETAILS & GEOTECHNICAL REPORT THEN THE GEOTECHNICAL REPORT SHALL GOVERN.
2. THE CONTRACTOR MUST REPAIR OR REPLACE, AT THE CONTRACTOR'S SOLE COST AND EXPENSE, ALL SIDEWALKS, CURBS, DRIVEWAYS, DRIVEWAYS, AND DRIVEWAYS THAT ARE DAMAGED OR DESTROYED BY THE CONTRACTOR'S WORK.
3. WORK WITHIN THE RIGHT-OF-WAY MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS AND STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS, ENGINEERING DEPARTMENT, HIGHWAY DIVISION, AND/OR STATE DOT HIGHWAY DEPARTMENT.
4. THE CONTRACTOR IS CAUTIONED OF EXISTING UTILITY SERVICES TO REMAIN IN PROXIMITY TO PROPOSED BOLLARDS AND SIGNS. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR BOLLARDS AND SIGNS AS NEEDED TO AVOID CONFLICTS WITH EXISTING UTILITY SERVICES TO REMAIN.

REVISIONS

[illegible]

**Know what's below.
Call before you dig.**

NEW YORK STATE
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND
1-800-942-7962
www.digsafelynewyork.com

FOR CONCEPT
PURPOSES ONLY

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: NYB250052.00
DRAWN BY: WAB
CHECKED BY: RLB
DATE: 09/30/2025
CAD ID.: NYB250062-X-TTLB-SPPD

PROJECT: **PROPOSED
SITE PLAN
DOCUMENTS**
_____ FOR _____

AMERICA'S
TIRE

AMERICA'S TIRE RETAIL
SERVICE FACILITY
8076 BREWERTON RD / NYS ROUTE 11
TOWN OF CICERO
ONONDAGA COUNTY
NEW YORK, 13039
TAX MAP #: 044-01-17.6

BOHLER //

70 LINDEN OAKS
THIRD FLOOR
ROCHESTER, NY 14625
Phone: (585) 866-1100
www.BohlerEngineering.com

FILE COPY
Town of Cicero

OCT - 1 2025
 Zoning and Planning

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

C-301

ORG. DATE - 09/30/2025

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7208-2)

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



SITE PLAN
SCALE: 1" = 20'-0"

STANDARD GENERAL PLAN NOTES
1. Road to be kept clean of mud and debris at all times.
2. Road side drainage to be maintained at all times.
3. Materials, equipment and vehicles are not to be stored or parked within the Right-of-Way.
4. Notify DIG SAFELY NEW YORK (UFPD) two (2) working days prior to digging, drilling or blasting at 1-800-962-7962 for a utility stake-out.

STABILIZATION NOTES:
IN AREAS WHERE SOIL DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, STABILIZATION MEASURES SHALL BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN 14 DAYS.

REVISIONS

NO.	DATE	DESCRIPTION
0	09/28/25	FOR APPROVAL

PLANNING BOARD CHAIRPERSON
TOWN OF GORHAM

DATE

WARNING
IT IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, OTHER THAN WHOSE SEAL APPEARS ON THIS DRAWING, TO ALTER IN ANY MANNER ANY ITEM ON THIS DRAWING. IF AN ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

DRAWN BY: JTM
PROJ. ENGR.: JTM
PROJ. MNGR.: JTM
CHECKED BY: JTM

CALL DIG SAFELY NEW YORK
48 HOURS BEFORE DIGGING OR DRIVING POSTS @ 811

McCormick Engineering P.C.
294 Skane Road
Geneva, New York 14456
(585) 771-7219

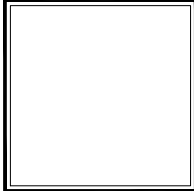
DANIEL KOWALIK
598 New York State Route 5
Town of Elbridge, Onondaga County, NY
TAX ID No. 040-03-22.2

SITE PLAN
Scale: AS NOTED
Date: 09/28/25
DWG. C-2.0

3180 ERIE BOULEVARD EAST
SYRACUSE NY, 13214
TOWN OF DEWITT

CLIENT:
LCR 3180 ERIE BLVD E, LLC
344 S WARREN ST,
SYRACUSE NY 13202

ISSUED AND REVISIONS NOTIFICATION		
No.	Rev.	Date
1	Rev.	6/30/25
2	Rev.	10/23/25
3	Rev.	
4	Rev.	
5	Rev.	
6	Rev.	
7	Rev.	



Drawn By: CRF
Checked By: EGK
KFA Proj. No.: 44148
Date: OCTOBER 23, 2025
Scale: AS NOTED

SITE LAYOUT
PLAN

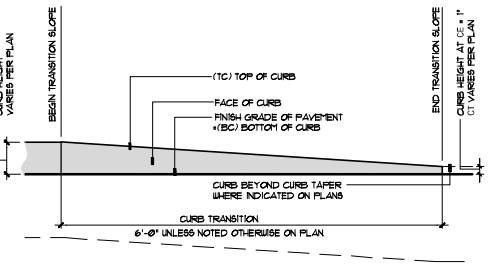
L3.1

SIGN SCHEDULE			
KEY	SIGN PLATE	SIGN SIZE MOUNTING HT.	NY&D.O.T. MUT.C.D. NO. / COMMENTS
A		12" x 18" 7'-0" HT.	SIGN NO: P4-6 COLORS: WHITE BACKGROUND, BLUE (CON. GREEN TEXT/ BORDER
B		12" x 18" 7'-0" HT.	SIGN NO: - COLORS: WHITE BACKGROUND, RED TEXT AND BORDER
C		30" x 30" 7'-0" HT.	SIGN NO: RI-1 COLORS: WHITE TEXT & BORDER RED BACKGROUND
D		24" x 30" 7'-0" HT.	SIGN NO: R3-20 COLORS: BLACK TEXT & BORDER WHITE BACKGROUND
NOTES: 1. ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT NY&D.O.T. "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES."			

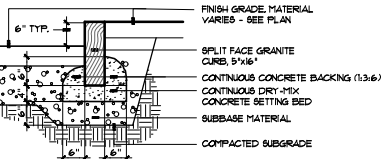
- LAYOUT CONSTRUCTION NOTES
1. INSTALL ASPHALT PAVEMENT - PARKING PER DETAIL 1 / L6.1
 2. INSTALL CONCRETE PAVEMENT PER DETAIL 2 / L6.1
 3. INSTALL GRANITE CURB PER DETAIL 2 / L3.1
 4. INSTALL SEEDED LAWN IN ALL DISTURBED AREAS PER DETAIL 1 / L4.1
 5. INSTALL RESERVED PARKING STALL PER DETAIL 10 / L6.1
 6. 4" WIDE WHITE PAINTED LINES, (TYP.).
 7. PAINT 4" WIDE LINES AT 45° ± 2' O.C. (TYP.)
 8. INSTALL CONCRETE DOUELING AT DOORWAY PER DETAIL 6 / L6.1
 9. INSTALL TRAFFIC SIGN IN BOLLARD PER DETAIL 11 / L6.1
 10. INSTALL ACCESSIBLE RAMP - TYPE 2 PER DETAIL 7 / L6.1
 11. INSTALL WASTE/RECYCLING ENCLOSURE PER DETAIL 13 / L6.1
 12. INSTALL PAINTED RIGHT TURN ONLY ARROW PER DETAIL 8 / L6.1
 13. INSTALL HEAVY DUTY CONCRETE PAVEMENT PER DETAIL 5 / L6.1
 14. INSTALL (3) BIKE RACKS PER DETAIL 14 / L6.1
 15. INSTALL TRAFFIC SIGN PER DETAIL 12 / L6.1
 16. INSTALL LIGHT POLE AND LIGHT POLE BASE PER DETAIL 1 / L3.2, REFER TO
PHOTOMETRIC PLAN. LIGHT POLES SHALL BE 3'-0" MINIMUM FROM EDGE OF
VEHICULAR PAVEMENT & 1'-6" FROM EDGE OF PEDESTRIAN PAVEMENT.
 17. INSTALL PAINTED CROSSWALK PER DETAIL 9 / L6.1

ZONING CHART - TOWN OF DEWITT			
TAX PARCELS INVOLVED: 04406-080 0.99 ACRES (3180 ERIE BLVD E)			
ZONE: BUSINESS (B) - PER JUNE 2008 TOWN OF DEWITT ZONING MAP			
BUILDING HEIGHT	B 17'-1 1/4" (10')	PROVIDED 20'-10"	
YARD SETBACKS			
FRONT SETBACK	35'	18'-2"	
SIDE SETBACK	9 MIN 25' TOTAL	10'-2" OVER 25' OVER 40'	
REAR SETBACK	20'		
LOT COVERAGE			
MAX. BUILDING COVERAGE:	30%	11%	
MAX. LOT COVERAGE:	20%	63%	
PARKING REQUIREMENTS:			
STALL SIZE:	19'-0" x 9'-6"	19'-0" x 9'-6"	
DRIVE AISLE:	24'-0" MIN. WIDTH	24'-0" MIN. WIDTH	
TOTAL PARKING REQUIRED:			
RESTAURANT 4500 SF TOTAL (RESTAURANT)	1 / 600SF GFA 16 SPACES	1 / 10 SF GFA 64 SPACES	
*VARIANCES REQUIRED BUILDING HEIGHT - 10'-2" FROM PL. VARIANCE OF 10'-8" FOR 20'-10" HT. PARKING TOTAL - 16 SPACES REQUIRED, 64 PROVIDED (12 SPACE VARIANCE)			

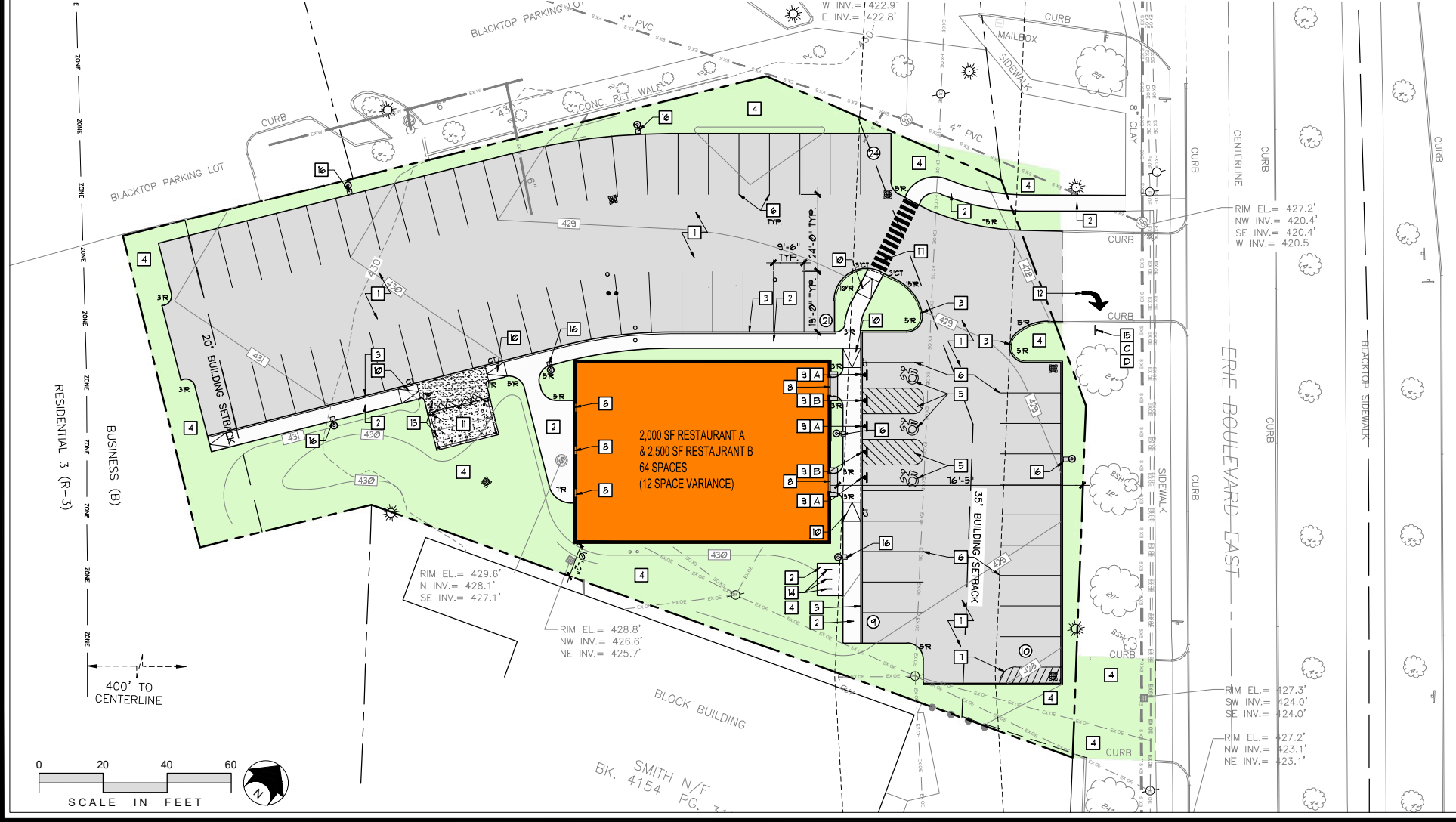
COVERAGE TABLE			
COVERAGE TYPOLOGY	EXISTING	PROPOSED	CHANGE
BUILDING	5,755 SF	4,500 SF	-1,255 SF
ASPHALT	33,316 SF	21,621 SF	-11,694 SF
CONCRETE	235 SF	2,608 SF	+2,373 SF
IMPERVIOUS TOTAL	39,306 SF	28,730 SF	-10,576 SF (-27%)
LAWN	450 SF	10,443 SF	+9,993 SF
PLANTING	100 SF	1,295 SF	+1,195 SF
GRAVEL	612 SF	0 SF	-612 SF
PERVIOUS TOTAL	1,162 SF	11,738 SF	+10,576 SF (+910%)
PROJECT SITE TOTAL	40,468 SF SITE (.99 ACRES)		



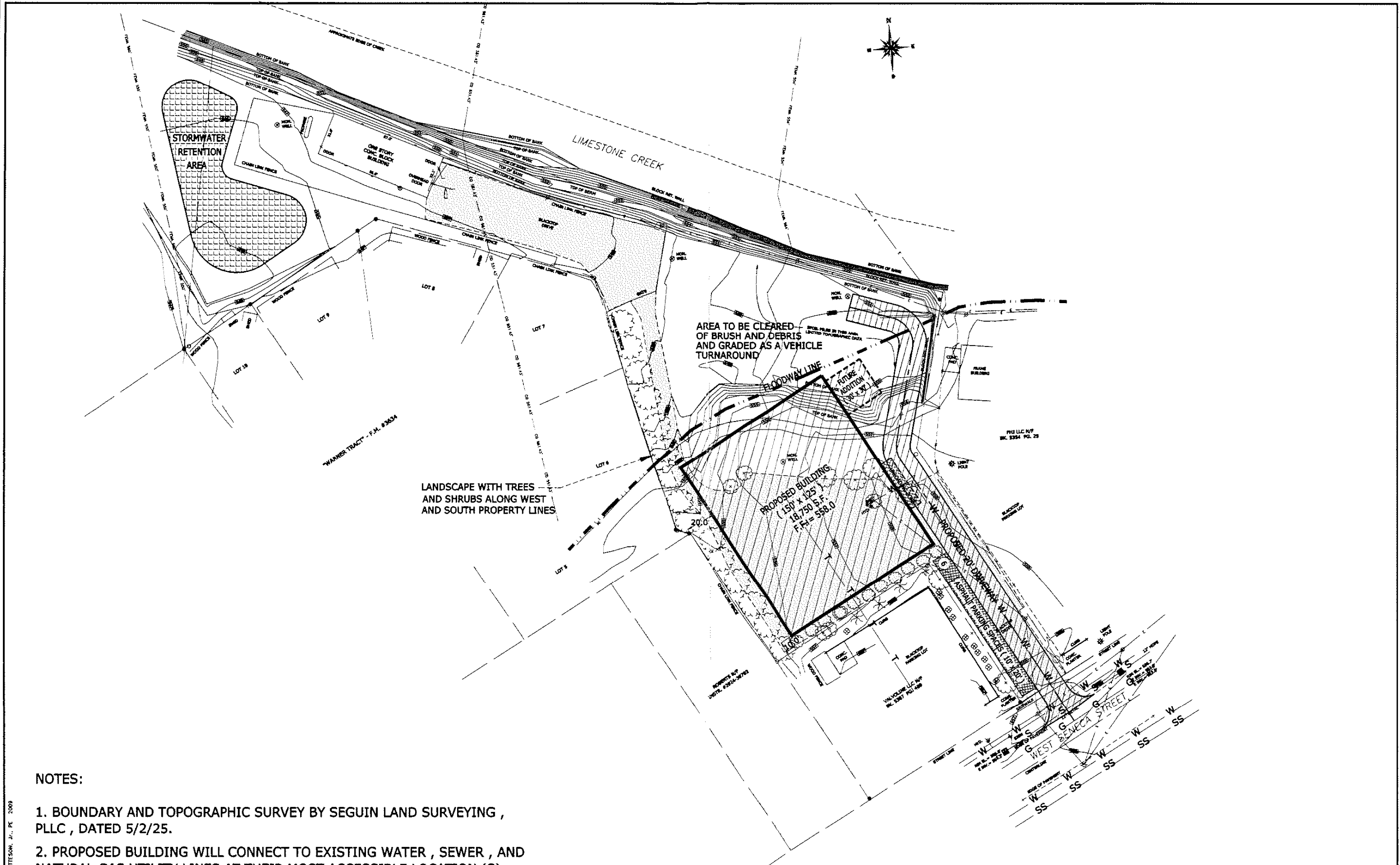
1 CURB ENDING/TAPER (CE/CT)
L3.1 NOT TO SCALE 38-1919-07



2 GRANITE CURB
L3.1 NOT TO SCALE 38-1919-01



Revised By: _____ Date Revised: _____
Drawing File: _____



NOTES:

1. BOUNDARY AND TOPOGRAPHIC SURVEY BY SEGUIN LAND SURVEYING , PLLC , DATED 5/2/25.
2. PROPOSED BUILDING WILL CONNECT TO EXISTING WATER , SEWER , AND NATURAL GAS UTILITY LINES AT THEIR MOST ACCESSIBLE LOCATION (S) ON THE PROPERTY .
3. NO FILLING WILL BE CONDUCTED ON THE PROPERTY WITHIN THE FLOODWAY LINE.

REVISIONS			SCALE: 1" = 30'	CLIENT: MAHONEY DESIGN & BUILD, INC. 559 FITCH STREET ONEIDA, N.Y. 13421
NO.	DATE			
		DATE: MAY 2025	PROJECT: MANLIUS STORAGE PROJECT 133 WEST SENECA STREET MANLIUS N.Y.	TITLE: PROPOSED SITE PLAN
		DESIGNED BY: WH		

WAYNE C. MATTESON, JR., P.E.
Consulting Environmental Engineer
3893 Easbrook Road
Brieville, NY 13061
315-662-7146 Cell: 607-423-4321

WARNING: (SEE SECTION 7206, SUBDIVISION 2, N.Y.S. EDUCATION LAW)
(IT IS A VIOLATION OF LAW TO ALTER ANY PORTION OF THIS
DOCUMENT IN ANY WAY, EXCEPT AS DIRECTED BY A LICENSED
PROFESSIONAL ENGINEER. SUCH ALTERATION MUST BE SPECIFICALLY

PLANNED UNIT DEVELOPMENT (PUD)		
EXISTING PARCELS #:		
024.-01-04.1 = 16.82 AC LIVERPOOL BYPASS		
024.-01-38.0 = 8.95 AC LIVERPOOL BYPASS		
024.-01-36.0 = 6.77 AC OSWEGO ROAD		
024.-01-03.1 = 2.90 AC OSWEGO ROAD		
LOT DEVELOPMENT STANDARDS	CODE	PROPOSED
MINIMUM LOT AREA	0.5 AC	1.65 AC
FRONT YARD SETBACK (COMMERCIAL)	60'	71'
SIDE YARD (COMMERCIAL)	20'	54'
SIDE YARD (COMMERCIAL)	20'	53'
REAR YARD (COMMERCIAL)	20'	42'
PUMP ISLANDS SETBACK	25'	73'
MAXIMUM BUILDING HEIGHT	4 STORIES	1 STORY
MAXIMUM LOT COVERAGE	30%	17.3%
OFF-STREET PARKING		
RESTAURANT, DRIVE-IN (WENDY'S)	55 SP.	10 SP.
RESTAURANT, DRIVE-IN (JIMMY JOHN'S)	55 SP.	9 SP.
GASOLINE SERVICE FACILITY		
1 SP. PER EMPLOYEE (5 EMPL.)	5 SP.	5 SP.
1 SP. PER 100SF RETAIL (2,860 SF)	29 SP.	29 SP.
TOTAL	144 SP.	53 SP.



PROPOSED CIRCLE K, JIMMY JOHN'S
& WENDY'S
BRIAD DEVELOPMENT, LLC
78 OKNER PARKWAY
LIVINGSTON, NJ 07039

[illegible]

Designed By: BGH	Drawn By: BGH	Checked By: LCC
Issue Date: 10/09/25	Project No.: 093467.000	Scale: AS SHOWN

Drawing No.:

C-101

**WHITESTONE DEVELOPMENT
PARTNERS, LLC**
1170 PITTSFORD VICTOR RD SUITE 260
PITTSFORD NY 14534

IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

WHITESTONE LIVERPOOL
BYPASS PUD
7192 OSWEGO ROAD
LIVERPOOL NY 13090
TOWN OF SALINA

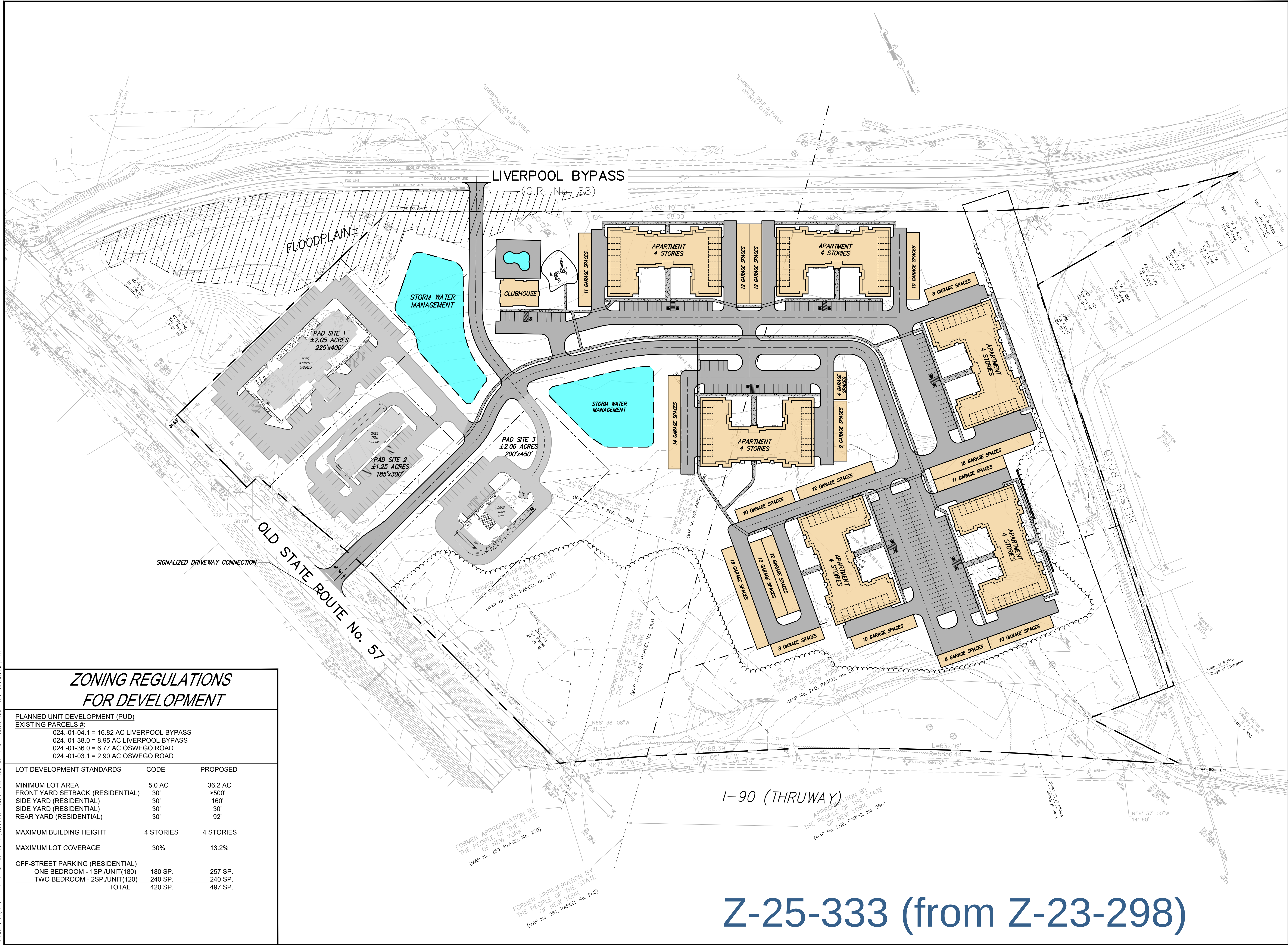
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OVERALL SITE LAYOUT

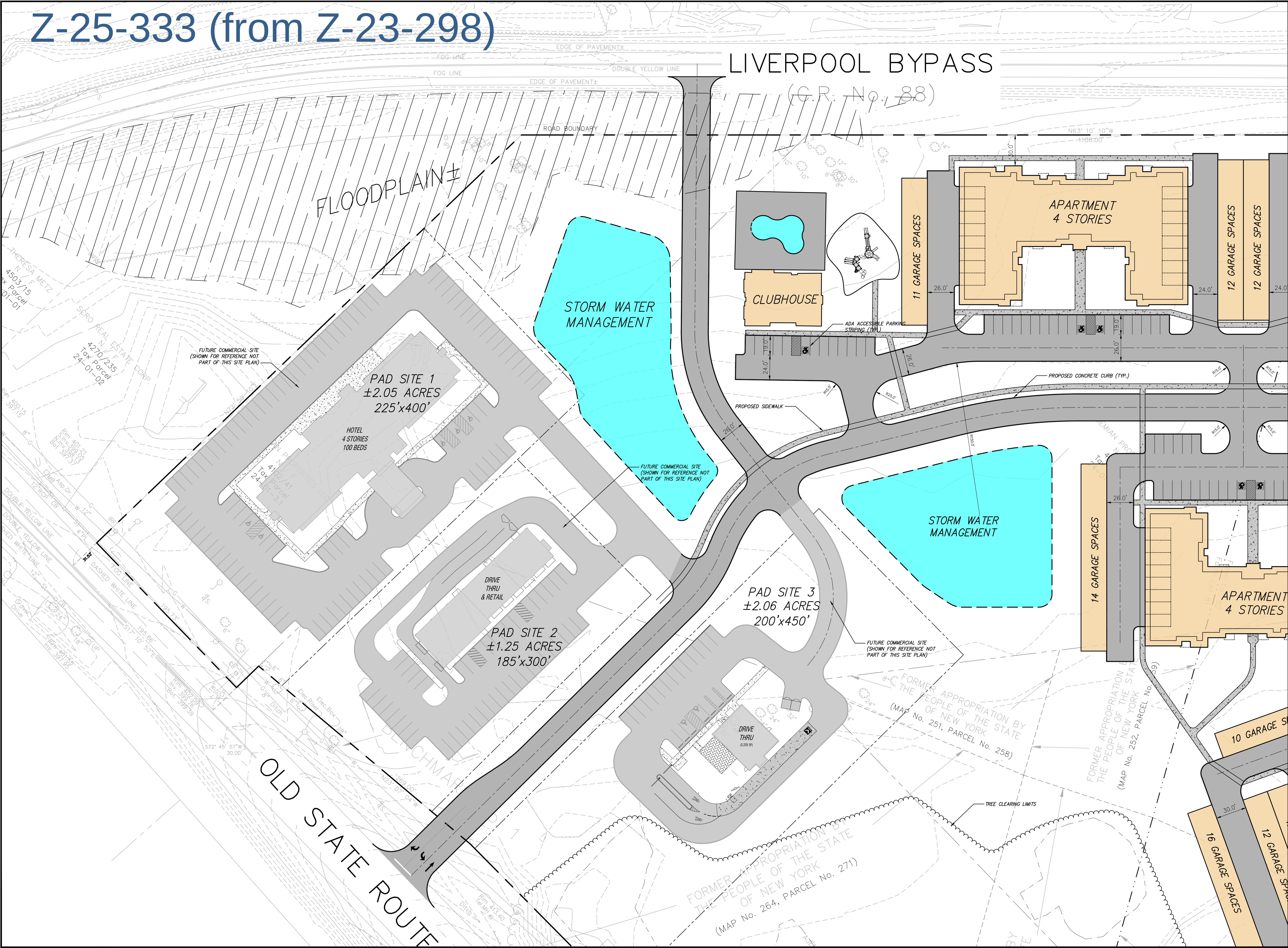
Designed By: BGH	Drawn By: BGH	Checked By: JFT
Issue Date: 08/16/2023	Project No: 082004	Scale: AS SHOWN

Drawing No.

C-100



Z-25-333 (from Z-23-298)



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One Park Place, 300 South State Street, Suite 600
Syosset, NY 11058
315.471.3920 • www.chacompanies.com

0 40 80
Scale in feet

WHITESTONE DEVELOPMENT

PARTNERS, LLC

1170 PITTSFORD VICTOR RD SUITE 260
PITTSFORD NY 14534

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM BEARING THE SEAL OR STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY FOLLOWING BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

WHITESTONE LIVERPOOL BYPASS PUD

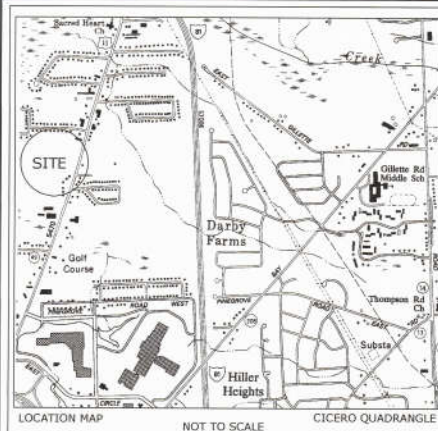
7192 OSWEGO ROAD
LIVERPOOL NY 13090
TOWN OF SALINA

No.	Submitted / Revision	App'd.	By	Date

SITE LAYOUT PLAN

Designed By: BGH	Drawn By: BGH	Checked By: JFT
Issue Date: 08/16/2023	Project No: 082004	Scale: AS SHOWN

Drawing No.:
C-101



LEGEND	
TP	TELEPHONE MAST
LP	LIGHT POLE
SM	SANITARY MANHOLE
U-L	UTILITY POLE W/ LIGHT
UT	UTILITY POLE
HY	HYDRANT
WV	WATER VALVE
GV	GAS VALVE
GM	GAS METER
RF	IRON ROD FOUND
UF	UNDERGROUND FIBER OPTIC LINE
EL	UNDERGROUND ELECTRIC
UT	UNDERGROUND TELEPHONE
OW	OVERHEAD WIRES
GL	GAS LINE
WL	WATER LINE
ST	STORM SEWER LINE
SL	SANITARY SEWER LINE

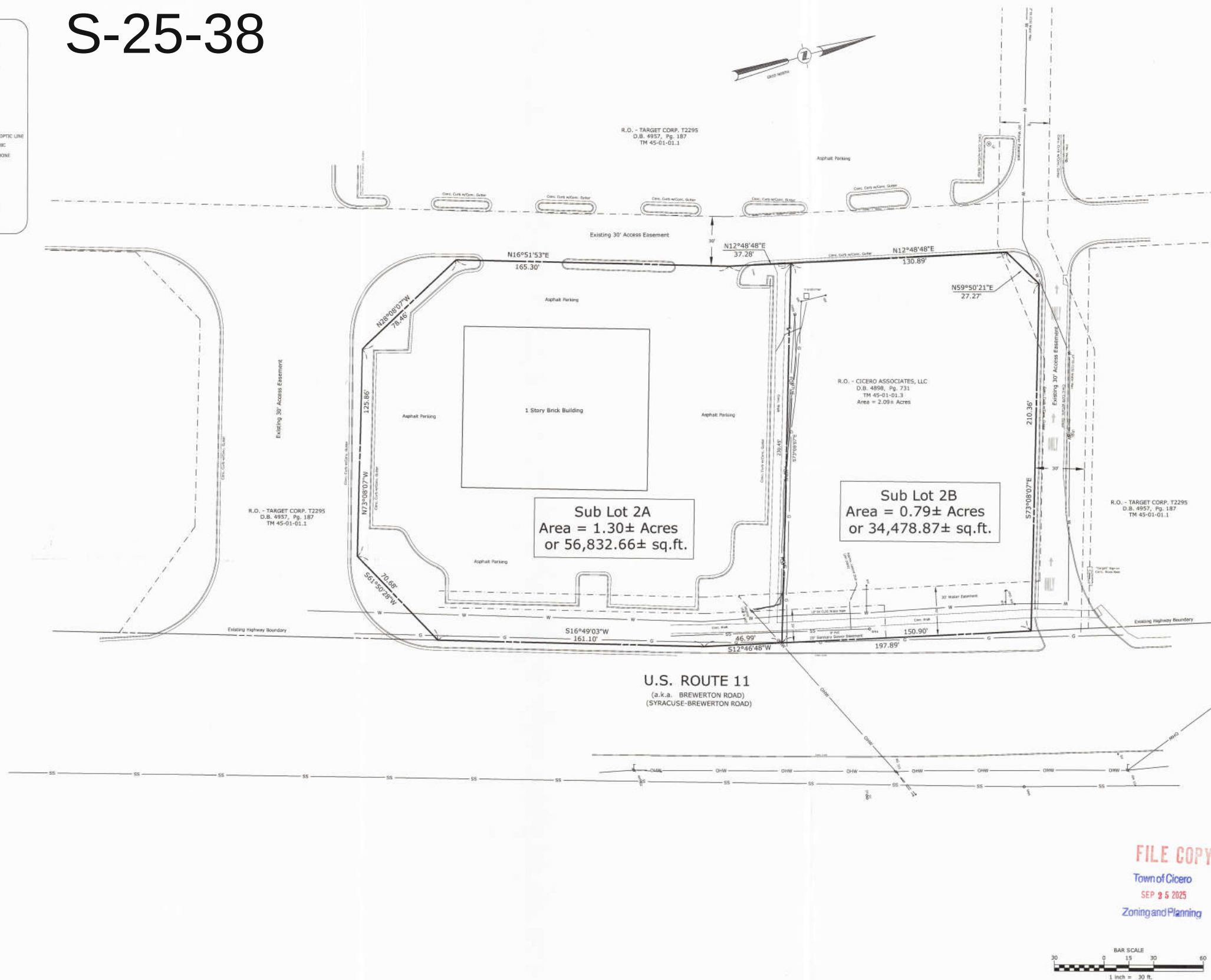
S-25-38

MAP NOTES

- 1.) NORTH ORIENTATION IS BASED ON GRID NORTH FROM RTK GPS OBSERVATIONS.
- 2.) VERTICAL DATUM IS BASED ON NAVD 1988 DATUM FROM RTK GPS OBSERVATIONS.
- 3.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR UP TO DATE TITLE REPORT AND IS THEREFORE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, COVENANTS OR ANY STATEMENT OF FACTS THAT SUCH DOCUMENTS MAY DISCLOSE.
- 4.) UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED BY FIELD SURVEY, PREVIOUS MAPS AND RECORDS, (AND PAROLE TESTIMONY). THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION.
- 5.) FIELD WORK PERFORMED ON MARCH 11-12, 2025.
- 6.) SUBLT 2 DOES NOT HAVE DIRECT ACCESS TO US ROUTE 11. ACCESS TO SUBLT 2 IS PROVIDED THROUGH THE ACCESS EASEMENT AS SHOWN HEREON.

Map References

- 1) CICERO ASSOCIATES SUBDIVISION PREPARED BY URS CORPORATION NEW YORK DATED JUNE 28, 2006; FILED MAP 10489.
- 2) SAVE THE COUNTY SUBDIVISION PREPARED BY URS CORPORATION NEW YORK DATED JUNE 28, 2006; FILED MAP 10509.
- 3) MAP SHOWING PARCEL OF LAND BEING KNOWN AS PART OF FARM LOT No. 66 PREPARED BY JOHN W. ENGLISH, L.S. DATED 7-26-05; FILE # 05-30-53.
- 4) MAP - PARCEL OF LAND PART OF F.L. 66 PREPARED BY GURSKY & RYAN, L.S. DATED OCT. 27, 1972; PROJECT No. 66110-A.

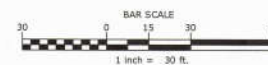


FILE COPY

Town of Cicero

SEP 25 2025

Zoning and Planning



I CERTIFY THAT THIS SUBDIVISION PLAT WAS PREPARED BY ME AND WAS MADE FROM AN ACTUAL FIELD SURVEY COMPLETED BY US ON MARCH 12, 2025.

DAVID M. SLISKI PLS # 50105 DATE 09/22/2025

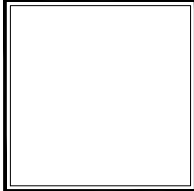
DAVID M. SLISKI P.L.S. NO. 050105	DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW
	1					
	2					
	3					
	4					
	5					
	6					
	7					
	8					
	9					
SUBDIVISION MAP TO DIVIDE SUBLT 2 OF THE CICERO ASSOCIATES SUBDIVISION (FM 10489) INTO NEW SUBLOTS 2A & 2B of the CICERO ASSOCIATES SUBDIVISION 8063 BREWERTON ROAD PART OF FARM LOT 66 / SUBLT 2 OF THE CICERO ASSOCIATES SUBDIVISION (FM 10489) TOWN OF CICERO ONONDAGA COUNTY, NEW YORK						C.T. MALE ASSOCIATES Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C. 50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH: 518.786.7400 GLENS FALLS, NY • JOHNSTOWN, NY • Poughkeepsie, NY • SYRACUSE, NY www.ctmale.com
SHEET 1 OF 1 DWG. NO: 25-0415						

3180 ERIE BOULEVARD EAST
SYRACUSE NY, 13214
TOWN OF DEWITT

CLIENT:
LCR 3180 ERIE BLVD E, LLC
344 S WARREN ST,
SYRACUSE NY 13202

ISSUED AND REVISIONS NOTIFICATION			Date
No.	Rev.	Description	Date
1	Rev.	PB SUBMISSION I	6/30/25
2	Rev.	PB SUB II, ZBA+OCBP I	10/23/25
3			
4			
5			
6			
7			

Δ- Symbol Indicates Revision Issued



Drawn By: CRF
Checked By: EGK
KFA Proj. No.: 44148
Date: OCTOBER 23, 2025
Scale: AS NOTED

SITE LAYOUT
PLAN

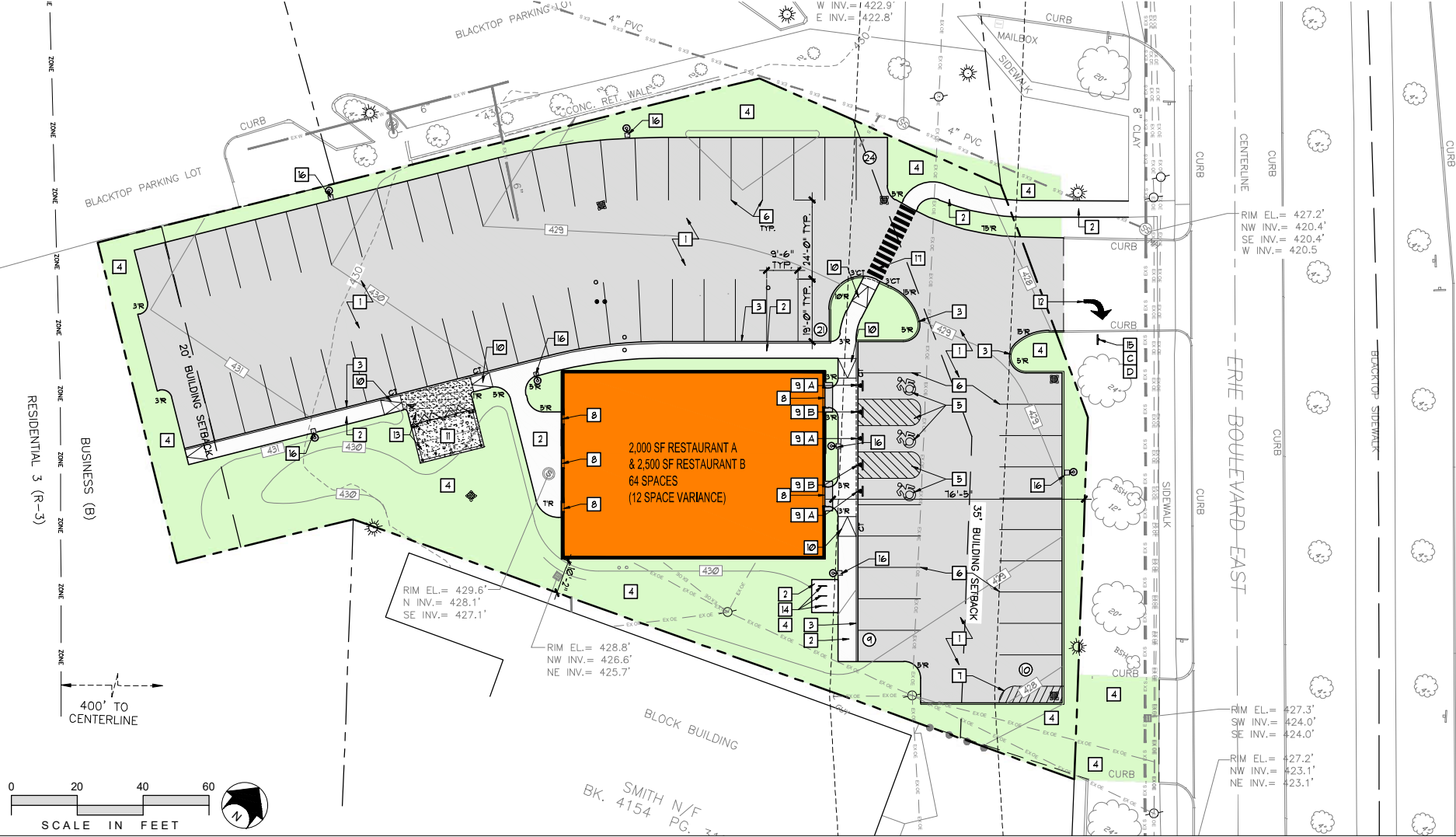
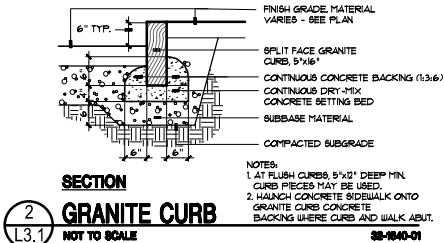
L3.1

COVERAGE TABLE			
COVERAGE TYPOLOGY	EXISTING	PROPOSED	CHANGE
BUILDING	5,755 SF	4,500 SF	-1,255 SF
ASPHALT	33,316 SF	21,621 SF	-11,694 SF
CONCRETE	235 SF	2,608 SF	+2,373 SF
IMPERVIOUS TOTAL	39,306 SF	28,730 SF	-10,576 SF (-27%)
LAWN	450 SF	10,443 SF	+9,993 SF
PLANTING	100 SF	1,295 SF	+1,195 SF
GRAVEL	612 SF	0 SF	-612 SF
PERVIOUS TOTAL	1,162 SF	11,738 SF	+10,576 SF (+910%)
PROJECT SITE TOTAL	40,468 SF SITE (.99 ACRES)		

ZONING CHART - TOWN OF DEWITT			
TAX PARCELS INVOLVED: 04406-080			
ZONE: BUSINESS (B) - PER JUNE 2008 TOWN OF DEWITT ZONING MAP			
BUILDING HEIGHT	B 17'-11 1/4" (10')	PROVIDED 20'-10"	
YARD SETBACKS			
FRONT SETBACK	35'	18'-2"	
SIDE SETBACK	35' MIN 25' TOTAL	10'-2" OVER 25' OVER 40'	
REAR SETBACK	20'		
LOT COVERAGE			
MAX. BUILDING COVERAGE:	30%	11%	
MAX. LOT COVERAGE:	20%	63%	
PARKING REQUIREMENTS:			
STALL SIZE:	19'-0" X 9'-6"	19'-0" X 9'-6"	
DRIVE AISLE:	24'-0" MIN. WIDTH	24'-0" MIN. WIDTH	
TOTAL PARKING REQUIRED:			
RESTAURANT 4500 SF TOTAL (RESTAURANT)	1 / 600F GFA 16 SPACES	1 / 10 SF GFA 64 SPACES	
*VARIANCES REQUIRED BUILDING HEIGHT - 10'-2" FROM PL, VARIANCE OF 10'-8" FOR 20'-10" HT PARKING TOTAL - 16 SPACES REQUIRED, 64 PROVIDED (12 SPACE VARIANCE)			

SIGN SCHEDULE				
KEY	SIGN PLATE	SIGN SIZE MOUNTING HT.	NY&D.O.T. MUT.C.D. NO. / COMMENTS	
[A]	 RESERVED PARKING W/ ACCESSIBLE SYMBOL	12" x 18" 1'-0" HT.	SIGN NO: P4-6 COLORS: WHITE BACKGROUND, BLUE (CON. GREEN TEXT/ BORDER	
[B]	 NO PARKING ANY TIME	12" x 18" 1'-0" HT.	SIGN NO: - COLORS: WHITE BACKGROUND, RED TEXT AND BORDER	
[C]	 STOP	STOP SIGN	30" x 30" 1'-0" HT.	SIGN NO: RI-1 COLORS: WHITE TEXT & BORDER RED BACKGROUND
[D]		RIGHT TURN ONLY	24" x 30" 1'-0" HT.	SIGN NO: R3-20 COLORS: BLACK TEXT & BORDER WHITE BACKGROUND
NOTES: 1. ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT NY&D.O.T. "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES."				

- LAYOUT CONSTRUCTION NOTES
1. INSTALL ASPHALT PAVEMENT - PARKING PER DETAIL 1 / L6.1
 2. INSTALL CONCRETE PAVEMENT PER DETAIL 2 / L6.1
 3. INSTALL GRANITE CURB PER DETAIL 2 / L3.1
 4. INSTALL SEEDED LAWN IN ALL DISTURBED AREAS PER DETAIL 1 / L4.1
 5. INSTALL RESERVED PARKING STALL PER DETAIL 10 / L6.1
 6. 4" WIDE WHITE PAINTED LINES, (TYP.).
 7. PAINT 4" WIDE LINES AT 45° ± 2' OC. (TYP.)
 8. INSTALL CONCRETE DOUELING AT DOORWAY PER DETAIL 6 / L6.1
 9. INSTALL TRAFFIC SIGN IN BOLLARD PER DETAIL 11 / L6.1
 10. INSTALL ACCESSIBLE RAMP - TYPE 2 PER DETAIL 1 / L6.1
 11. INSTALL WASTE/RECYCLING ENCLOSURE PER DETAIL 13 / L6.1
 12. INSTALL PAINTED RIGHT TURN ONLY ARROW PER DETAIL 8 / L6.1
 13. INSTALL HEAVY DUTY CONCRETE PAVEMENT PER DETAIL 5 / L6.1
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 16. INSTALL LIGHT POLE AND LIGHT POLE BASE PER DETAIL 1 / L3.2, REFER TO
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VEHICULAR PAVEMENT & 1'-6" FROM EDGE OF PEDESTRIAN PAVEMENT.
 17. INSTALL PAINTED CROSSWALK PER DETAIL 9 / L6.1



Revised By: _____
Date Revised: _____
Drawing File: _____